

| ABBREVIATIONS   |  | INDEX   |  |
|---|--|---|--|
| <div>ABV ABOVE</div> <div>A/C AIR CONDITIONING</div> <div>A.D. AREA DRAIN</div> <div>ADJ. ADJUSTABLE</div> <div>ALT. ALTERNATE</div> <div>ALUM. ALUMINUM</div> <div>BA. BATHROOM</div> <div>BD. BOARD</div> <div>BF. BI-FOLD (DOOR)</div> <div>BLDG. BUILDING</div> <div>BLK. BLOCK (CMUs)</div> <div>BLW. BELOW</div> <div>BM. BEAM</div> <div>BP. BI-PASS (DOOR)</div> <div>BOT. BOTTOM</div> <div>BTWN. BETWEEN</div> <div>CAB. CABINET</div> <div>CER. CERAMIC</div> <div>C.J. CONTROL JOINT OR CONSTRUCTION JOINT</div> <div>CL. CLOSET OR CENTER LINE</div> <div>CLG. CEILING</div> <div>CMU. CONCRETE MASONRY UNIT</div> <div>COL. COLUMN</div> <div>CONC. CONCRETE</div> <div>CR. CARPET</div> <div>CR. CORROSION RESISTANT</div> <div>CSMT. CASEMENT</div> <div>C.T. CERAMIC TILE</div> <div>D. DRYER</div> <div>DBL. DOUBLE</div> <div>DH. DOUBLE HUNG</div> <div>DIM. DIMENSION</div> <div>DISP. DISPOSAL</div> <div>DN. DOWN</div> <div>DOO. DOOR</div> <div>DS. DOWNSPOUT</div> <div>DW. DISH WASHER</div> <div>DWG. DRAWING</div> <div>E. EAST</div> <div>EA. EACH</div> <div>ELEV. ELEVATION</div> <div>ELEC. ELECTRICAL</div> <div>EQ. EQUAL</div> <div>EXT. EXTERIOR</div> <div>FAU. FORCED AIR UNIT</div> <div>F.C. FLOOR CHANGE</div> <div>F.D. FLOOR DRAIN</div> <div>FFL. FINISH FLOOR LINE</div> <div>F.G. FINISHED GRADE</div> <div>FLR. FLOORING</div> <div>FL. FLOURESCENT (LIGHT)</div> <div>FND. FOUNDATION</div> <div>F.O.S. FACE OF STUD</div> <div>FTG. FOOTING</div> <div>FX. FIXED GLASS</div> <div>GALV. GALVANIZED</div> <div>GAR. GARAGE</div> <div>G.B. GYPSUM BOARD</div> <div>GD. GRADE OR GRADING</div> <div>G.D.O. GARAGE DOOR OPENER</div> <div>GFI. GROUND FAULT INTERRUPTER</div> <div>GL. GLASS OR GLAZING</div> <div>GYP. BD. GYPSUM BOARD</div> <div>HS. ROSE HIBB</div> <div>HD. HEAD OR HARD</div> <div>HDR. HEADER</div> <div>HST. HEIGHT</div> <div>HVAC. HEATING/VENTILATING/AIR COND.</div> <div>HWD. HARDWOOD</div> <div>INT. INTERIOR</div> <div>JST. JOIST</div> <div>JT. JOINT</div> <div>KIT. KITCHEN</div> <div>L. LENGTH</div> <div>LA. LAUNDRY</div> <div>LAV. LAVATORY</div> <div>LVR. LOUVER</div> <div>MAX. MAXIMUM</div> <div>MECH. MECHANICAL</div> <div>MFR. MANUFACTURER</div> <div>MIN. MINIMUM</div> <div>MISC. MISCELLANEOUS</div> <div>N. NORTH</div> <div>N.T.S. NOT TO SCALE</div> <div>O.G.D. OVERHEAD GARAGE DOOR</div> <div>OH. OVERHEAD</div> <div>OPT. OPTIONAL</div> <div>PAR. PARALLEL</div> <div>P.B. PUSH BUTTON</div> <div>P.D. POWDER</div> <div>PED. PEDESTAL</div> <div>PL. PLATE</div> <div>PR. PAIR</div> <div>P.T. PRESSURE TREATED WOOD</div> <div>PVC. POLYVINYL CHLORIDE PIPE</div> <div>P.V.M.T. PAYEMENT</div> <div>P.W. PRE-WIDE</div> <div>PWD. PLYWOOD</div> <div>R. RIB</div> <div>RAG. RETURN AIR GRILL</div> <div>REF. REFERENCE</div> <div>REFR. REFRIGERATOR</div> <div>REQ. REQUIRED</div> <div>S. SOUTH</div> <div>SD. SMOKE DETECTOR</div> <div>S.G.D. SLIDING GLASS DOOR</div> <div>SH. SINGLE HUNG OR SHELF</div> <div>SIM. SIMILAR</div> <div>SLP. SLOPE / SLIDING</div> <div>SL. SLOPE</div> <div>SPEC. SPECIFICATIONS</div> <div>STD. STANDARD</div> <div>STR. STRUCTURAL</div> <div>SQ. SQUARE</div> <div>SVM. SYMBOL</div> <div>S.S. SMOOTH FOUR SIDES</div> <div>T. TREAD (AT STAIRS) OR TILE</div> <div>T.B. TOWEL BAR</div> <div>TEMP. TEMPERED (GLASS)</div> <div>T&amp;G. TONGUE &amp; GROOVE</div> <div>T.O.C. TOP OF CURB</div> <div>TV. TELEVISION</div> <div>TYP. TYPICAL</div> <div>U.N.O. UNLESS NOTED OTHERWISE</div> <div>V.B. VAPOR BARRIER</div> <div>VERT. VERTICAL</div> <div>V.T.R. VENT THRU ROOF</div> <div>W. WASHING MACHINE</div> <div>WO. WOOD</div> <div>WOW. WINDOW</div> <div>WH. WATER HEATER</div> <div>WI. WROUGHT IRON</div> <div>WIC. WALK-IN CLOSET</div> <div>W.W.O. WITH OR WITHOUT</div> <div>WP. WATERPROOF(ING)</div> <div>WWM. WELDED WIRE MESH</div> <div>R. PROPERTY LINE</div> <div>O. ROUND / DIAMETER</div> <div>&amp; AND</div> <div>Q. CENTERLINE</div> <div># POUND / NUMBER</div>   |  | <div>A0.1.1 SLAB PLANS</div> <div>A0.2.1 STEMWALL PLANS</div> <div>A0.3.1 CRAWL SPACE PLANS</div> <div>A1.0 UNFINISHED BASEMENT PLAN 'A'</div> <div>A1.0.1 FINISHED BASEMENT PLAN</div> <div>A1.1 FLOOR PLAN '1'</div> <div>A1.2 FLOOR PLAN '2'</div> <div>A1.3 FLOOR PLAN '3'</div> <div>A1.4 FLOOR PLAN '4'</div> <div>A1.5 FLOOR PLAN OPTIONS</div> <div>A4.1 SECTIONS</div> <div>A5.1 ELEVATIONS '1'</div> <div>A5.1.1 ELEV OPTIONS</div> <div>A5.1.2 ELEV OPTIONS</div> <div>A5.1.3 ELEV OPTIONS</div> <div>A5.1.4 ROOF PLAN '1'</div> <div>A5.2 ELEVATIONS '2'</div> <div>A5.2.1 ROOF PLAN '2'</div> <div>A5.3 ELEVATIONS '3'</div> <div>A5.3.1 ROOF PLAN '3'</div> <div>A5.4 ELEVATIONS '4'</div> <div>A5.4.1 ROOF PLAN '4'</div> <div>E0.1 BASEMENT UTILITY PLAN</div> <div>E1.0 FIRST AND SECOND FLOOR UTILITY PLANS</div>   |  |
| <div>BUILDING CODE COMPLIANCE / PROJECT INFORMATION</div>   |  | <div>ALL CONSULTANT DRAWINGS ACCOMPANYING THESE GMD DESIGN GROUP CAROLINAS, INC. DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUPCAROLINAS, INC. GMD DESIGN GROUP CAROLINAS, INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.</div>  |  |
| <div>ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.</div> <div>APPLICABLE CODES:<br/>FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.<br/>2012 NORTH CAROLINA STATE SUPPLEMENTS AND AMENDMENTS</div> <div>CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.</div> <div>PRODUCT:<br/>SINGLE FAMILY RESIDENCE / 3 STORY TOWNHOMES</div> <div>OCCUPANCY CLASSIFICATION<br/>RESIDENTIAL R-3</div> <div>CONSTRUCTION TYPE:<br/>TYPE VB (2 HOUR DWELLING SEPARATION BETWEEN UNITS.)</div>  |  |   |  |
| <div>GENERAL NOTES:</div> <div>THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.<br/>CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.<br/>ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS IMMEDIATELY.<br/>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.<br/>ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.<br/>ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.<br/>ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.<br/>ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.<br/>PROVIDE FIREBLOCKING. (PER LOCAL CODES.)<br/>ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS. CONTRACTOR TO VERIFY.</div> <div>PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR, TOWEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.<br/>ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL. SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL.<br/>INSTALL PER MANUFACTURE'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.<br/>TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.<br/>SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.<br/>DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.<br/>THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.</div> <div>THE OWNER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.<br/>ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.<br/>PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.<br/>WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW. (PER NCRC SECTION R310.1.1)<br/>ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES.)<br/>PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES.</div> |  | <div>BUILDER SET:</div> <div>THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A "BUILDER'S SET" OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREINAFTER REFERRED TO AS "PLANS". THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.<br/>CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY: WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.</div> |  |

# CAMDEN - REVERSE

## PLAN 1732



NORTH CAROLINA OFFICE  
102 FOUNTAIN BROOK CIRCLE  
SUITE C  
CARY, NC 27511  
PHONE: (919) 320-3022

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PROFESSIONAL SEAL:

PROJECT TITLE:

### CAMDEN - REVERSE

### CONSTRUCTION SET

QUACKENBUSH HOMES

PROJECT NO:

SHEET TITLE:  
COVER SHEET

PRINT DATE:  
02.12.18

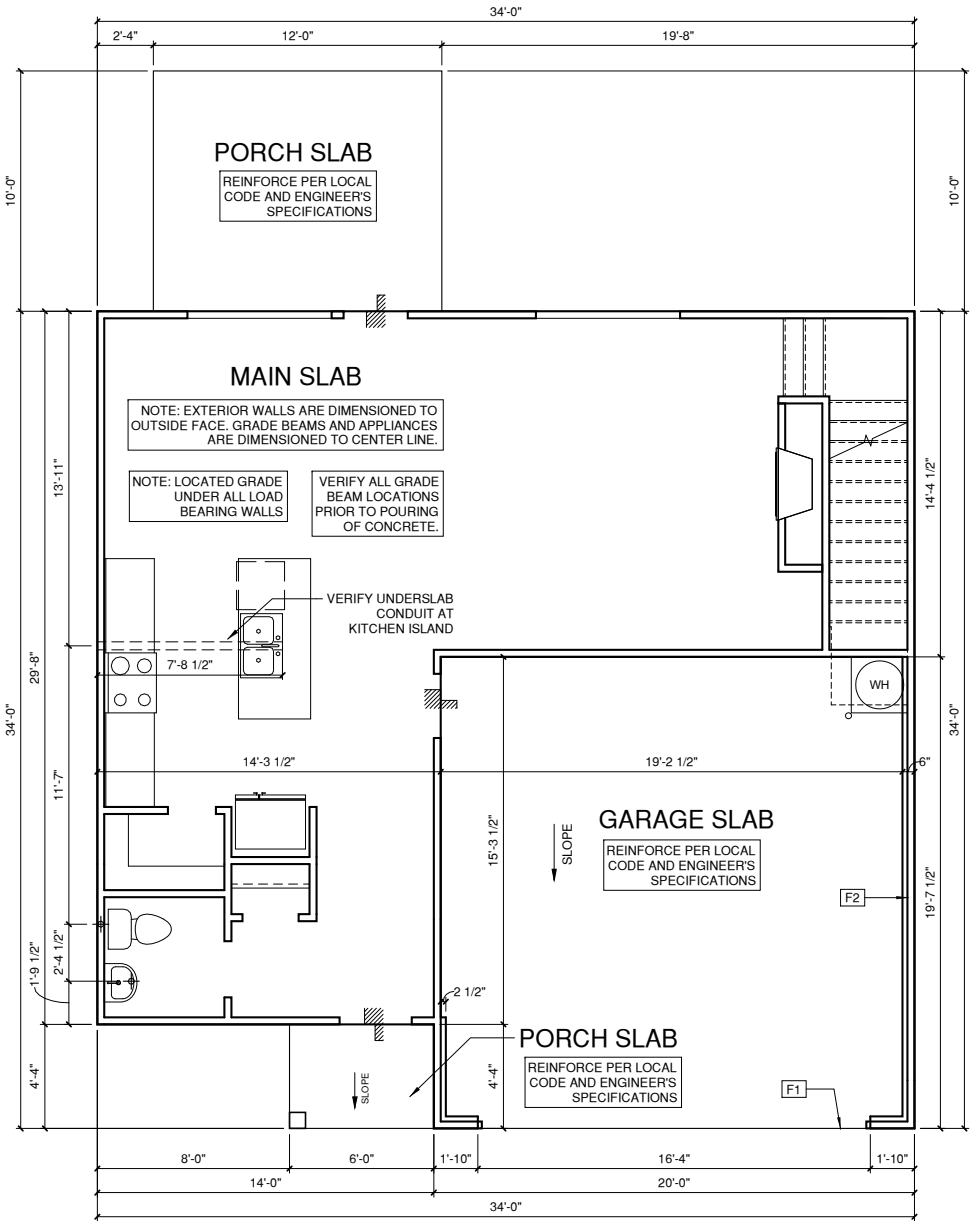
SHEET NO:  
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NOTES FOR NORTH CAROLINA:

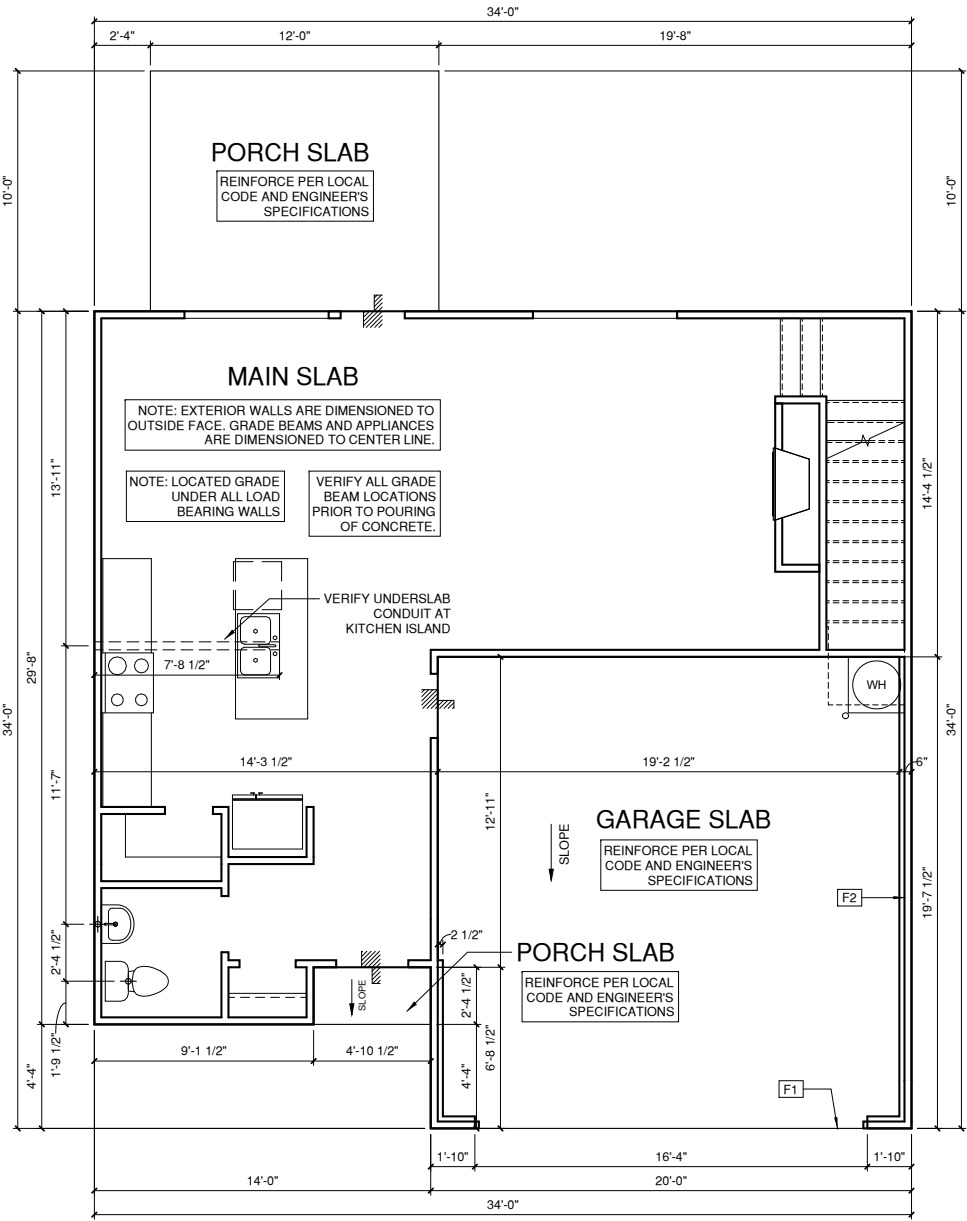
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
- THIS PERIMETER DIMENSION PLAN IS FOR DIMENSIONAL INFORMATION ONLY.
- SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR HOLDDOWNS, FOOTING DETAILS, CURB THICKNESS, AND INFORMATION NOT SHOWN ON THIS PLAN.
- PLUMBING FIXTURES, VENT LOCATIONS, ETC. ARE APPROXIMATE. CONTRACTOR TO VERIFY COUNT AND LOCATION.
- VERIFY THE SUPPLY FOR SEPARATE CONDUITS TO ANY ISLAND FOR GAS, WATER OR ELECTRIC.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES. 8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1.)
- TYP STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM. (PER NCRC SECTION R311.3.) PROVIDE A SLIP-RESISTANT FINISH.
- FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, PROTECT THE WATER HEATER WITH 3" DIA CONCRETE FILLED STEEL PIPE EMBEDDED INTO CONCRETE FOOTING.
- SOILS TREATMENT:  
BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS.  
(PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INFESTATION ACCORDING TO THE STANDARDS OF THE NC DEPT OF AGRICULTURE.)
- WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

REFER TO STRUCTURAL  
DRAWINGS FOR ALL  
FOUNDATION DIMENSIONS

| FOUNDATION KEYNOTE LEGEND |                           |
|---------------------------|---------------------------|
| F1                        | LINE OF SLAB ABOVE        |
| F2                        | LINE OF FRAMED WALL ABOVE |



2 SLAB PLAN '2', '3' & '4'



1 SLAB PLAN '1'

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

CAMDEN -  
REVERSE

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

SLAB PLANS

PRINT DATE:

02.12.18

SHEET NO:

A0.1.1

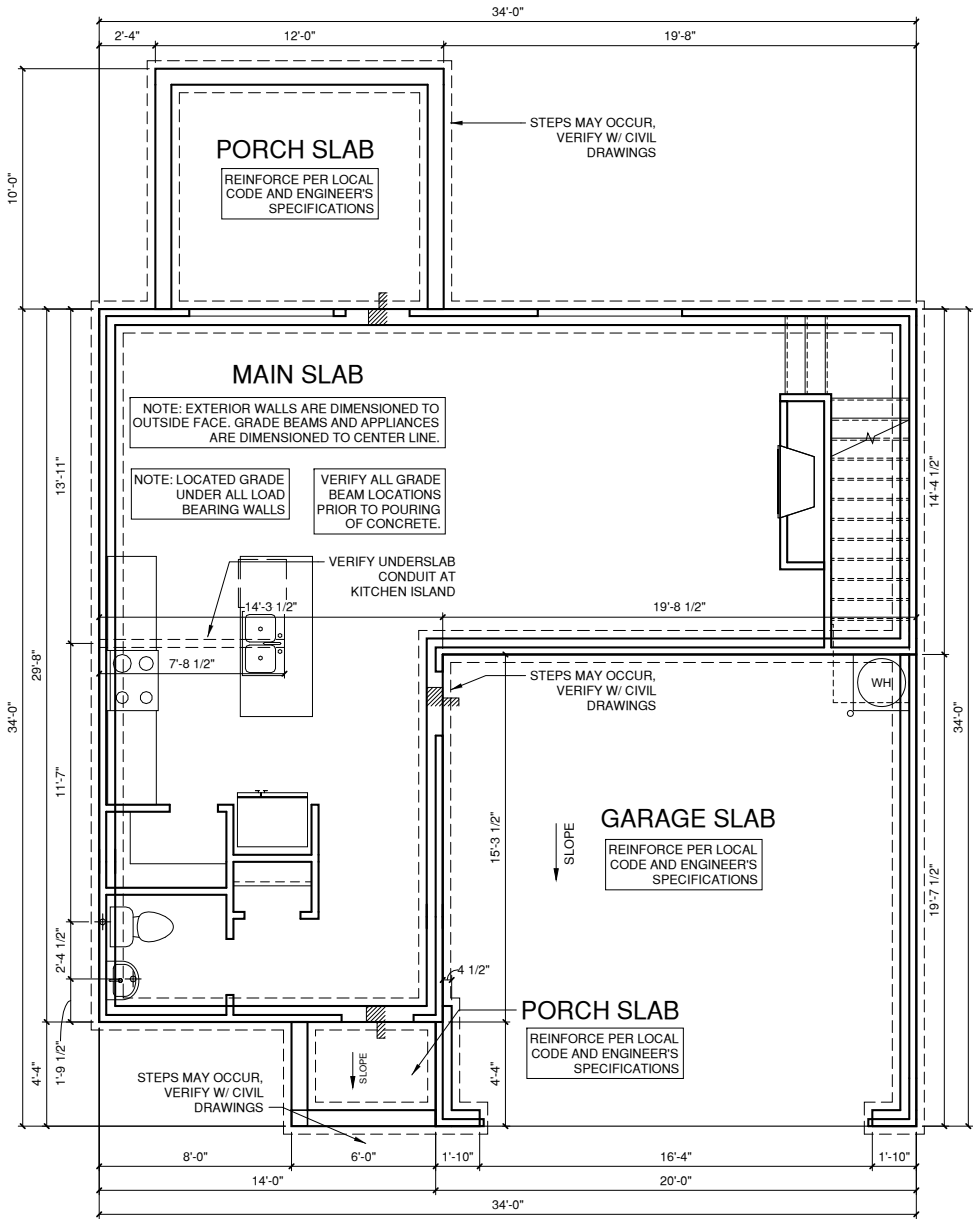
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- WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

REFER TO STRUCTURAL  
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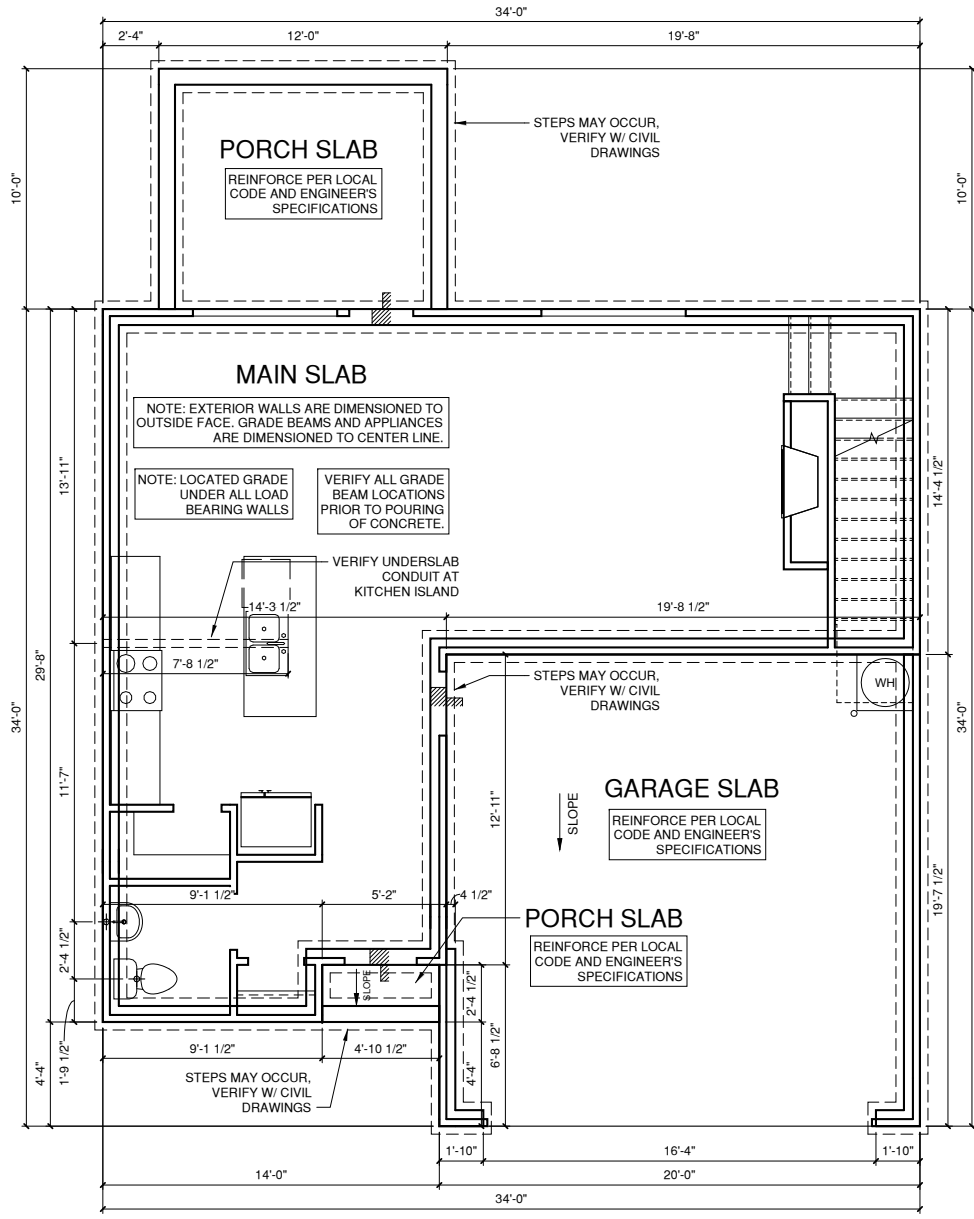
FOUNDATION KEYNOTE LEGEND

|    |                           |
|----|---------------------------|
| F1 | LINE OF SLAB ABOVE        |
| F2 | LINE OF FRAMED WALL ABOVE |



STEMWALL PLAN '2', '3' & '4'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



STEMWALL PLAN '1'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

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CAMDEN -  
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CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

STEMWALL  
PLANS

PRINT DATE:

02.12.18

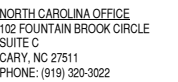
SHEET NO:

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CONSTRUCTION SET

- REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- PROVIDE FIREBLOCKING. (PER NCRC SECTION R602.8)
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES.  
8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1)
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- SOILS TREATMENT:  
BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INVESTATION ACCORDING TO THE STANDARDS OF THE NC DEPT. OF AGRICULTURE.)
- AT VENTED CRAWL SPACE:  
APPLY AN APPROVED VAPOR RETARDER OR EQUIVALENT, 6 MIL POLY-VINYL, GROUND COVER OVER FINISH GRADE OR CRAWL SPACE PER NCRC SECTION 408.2
- PROVIDE VENTS SPACED AROUND PERIMETER TO PROMOTE CROSS VENTILATION AT A RATE OF 1 SF VENT FOR EVERY 1500 SF OF CRAWL FLOOR AREA, ONE VENT MUST BE LOCATED WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AND LOCATED TO ALLOW FOR CROSS VENTILATION. (PER NCRC SECTION R408.1.1 EXCEPTION.)
- PROVIDE AN ACCESS OPENING, MINIMUM SIZE OF 18"x24" FOR CRAWL ACCESS. COORDINATE WITH MECHANICAL CONTRACTOR FOR LARGER SIZE REQUIREMENTS IF MECHANICAL EQUIPMENT IS LOCATED IN CRAWL. (PER NCRC SECTION 408.8)
- WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

| FOUNDATION KEYNOTE LEGEND |                           |
|---------------------------|---------------------------|
| F1                        | LINE OF SLAB ABOVE        |
| F2                        | LINE OF FRAMED WALL ABOVE |



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PROJECT TITLE:

CAMDEN -  
REVERSE

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

## CRAWL SPACE PLANS

PRINT DATE:

02.12.18

SHEET NO:

### A0.3.1

BASEMENT NOTES FOR NORTH CAROLINA:

-ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

-FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.

-WINDOW HEAD HTS:  
BASEMENT = 6'-8" U.N.O. ON ELEVATIONS

-PROVIDE FIREBLOCKING. (PER NCRC SECTION R602.8)

-WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW (PER NCRC SECTION R301.1.1)

-ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

-REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.

-VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES.  
8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1)

-SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.

-SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.

-VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.

-REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.

-TYP. STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED.  
MINIMUM (PER NCRC SECTIONS R311.3) PROVIDE A SLIP-RESISTANT FINISH.

-SOILS TREATMENT:  
BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INVESTATION ACCORDING TO THE STANDARDS OF THE NC DEPT. OF AGRICULTURE.)

-WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPERATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

WALL LEGEND

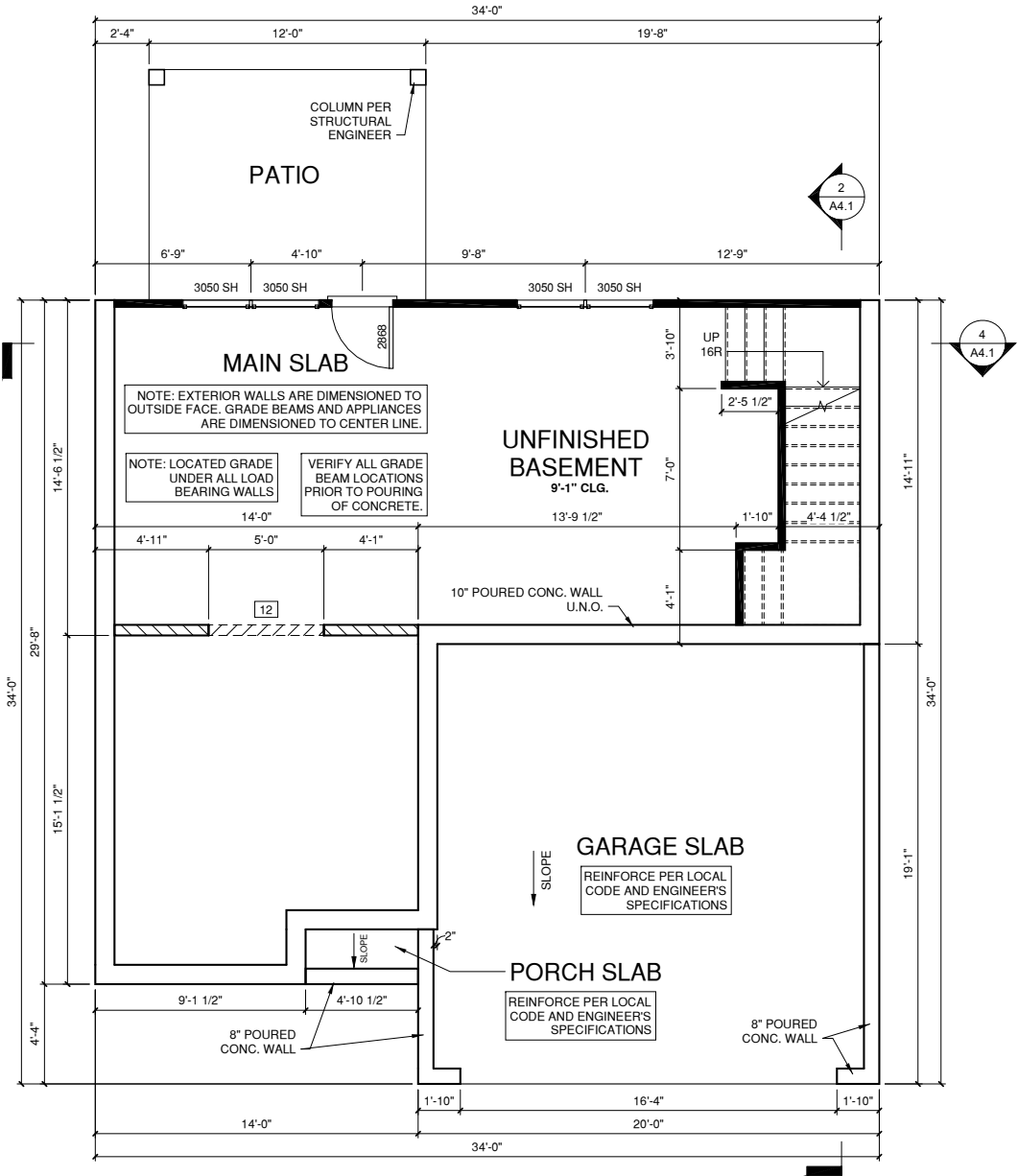
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|--|--|
|  |  |
| FULL HEIGHT<br>2X4 WOOD STUD PARTITION           | FULL HEIGHT<br>2X6 WOOD STUD PARTITION     |
|  |  |
| STONE VENEER                                     | DRYWALL OPENING HEIGHT<br>AS NOTED ON PLAN |
|  |  |
| BRICK VENEER                                     |  |
|  |  |
| STUD WALL BELOW<br>HEIGHT AND STUD SIZE AS NOTED |  |

FOUNDATION KEYNOTE LEGEND

|    |                           |
|----|---------------------------|
| F1 | LINE OF SLAB ABOVE        |
| F2 | LINE OF FRAMED WALL ABOVE |

FLOOR PLAN KEYNOTE LEGEND

|    |  |
|----|--|
| 1  | HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD |
| 2  | HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR   |
| 4  | GAS WATER HEATER ON 18" HIGH PLATFORM  |
| 7  | PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS  |
| 9  | TEMPERED SAFETY GLASS  |
| 11 | HALF WALL, HEIGHT AS NOTED   |
| 12 | INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.   |
| 13 | SHOWER, TEMPERED GLASS ENCLOSURE   |
| 14 | TUB-SHOWER COMBO   |
| 16 | SLIDE IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS  |
| 19 | ACCESS HATCH/DOOR. FULLY WEATHER STRIPPED AND INSULATED. (PER NCRC SECTION N1102.2.3)  |



UNFINISHED BASEMENT PLAN '1'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



NORTH CAROLINA OFFICE  
102 FOUNTAIN BROOK CIRCLE  
SUITE C  
GARY, NC 27511  
PHONE: (919) 320-3022

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PROJECT TITLE:

CAMDEN -  
REVERSE

CONSTRUCTION SET

CLIENTS NAME:  
QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:




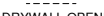


UNFINISHED  
BASEMENT  
PLAN 'A'

PRINT DATE:  
02.12.18

SHEET NO:  
A1.0

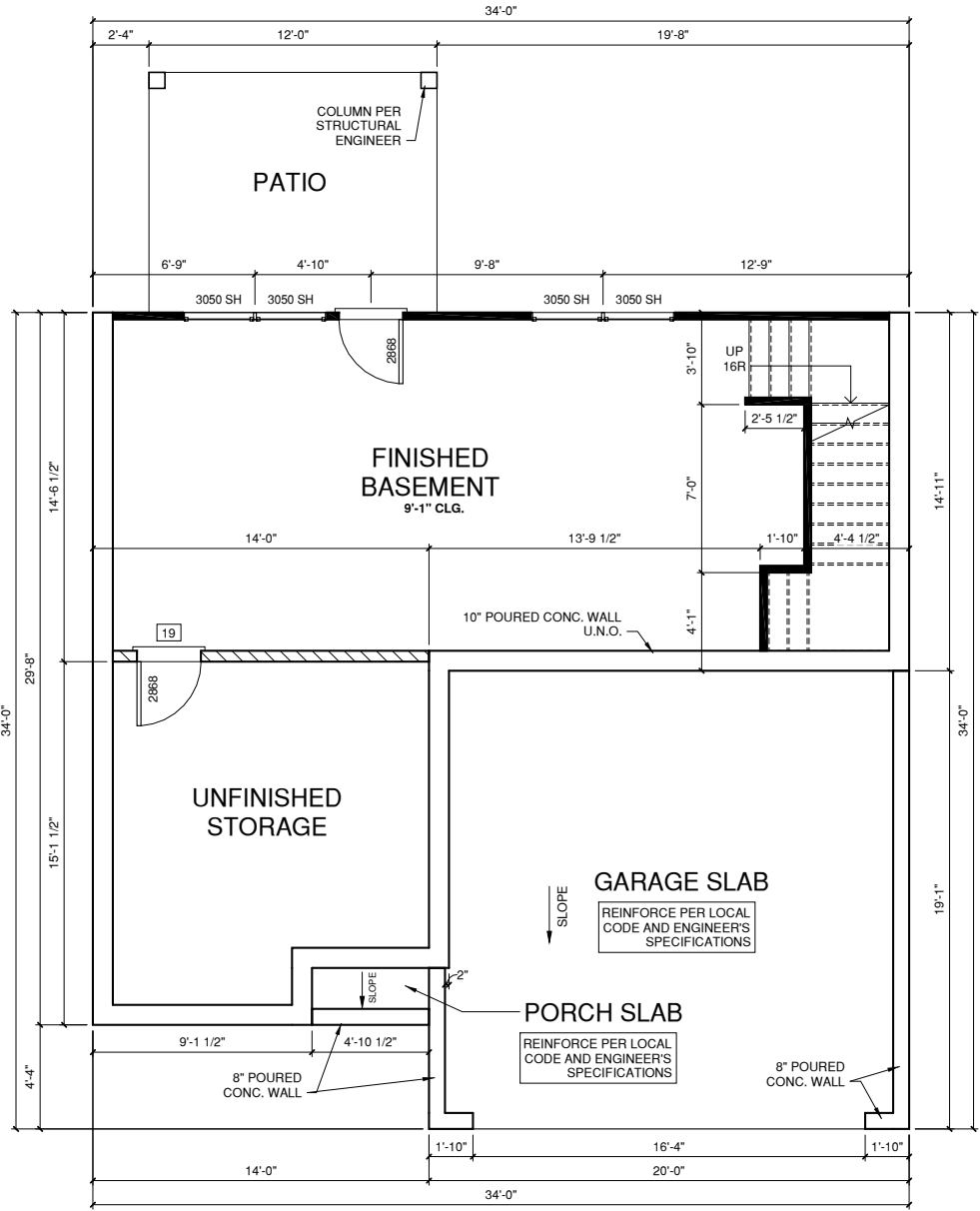
|  |
|--|
| BASEMENT NOTES FOR NORTH CAROLINA:   |
| -ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.  |
| -FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.  |
| -WINDOW HEAD HTS:<br>BASEMENT = 6'-8" U.N.O. ON ELEVATIONS   |
| -PROVIDE FIREBLOCKING. (PER NCRC SECTION R602.8)   |
| -WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW (PER NCRC SECTION R301.1.1) |
| -ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.   |
| -REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.  |
| -VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES.<br>8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTIONR311.3.1)  |
| -SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.   |
| -SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.  |
| -VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.   |
| -REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.  |
| -TYP. STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM (PER NCRC SECTIONS R311.3) PROVIDE A SLIP-RESISTANT FINISH.   |
| -SOILS TREATMENT:<br>BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INVESTATION ACCORDING TO THE STANDARDS OF THE NC DEPT. OF AGRICULTURE.)   |
| -WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPERATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.  |

# REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS

| WALL LEGEND   |   |
|---|---|
|  FULL HEIGHT 2X4 WOOD STUD PARTITION           |  FULL HEIGHT 2X6 WOOD STUD PARTITION     |
|  STONE VENEER                                  |  DRYWALL OPENING HEIGHT AS NOTED ON PLAN |
|  BRICK VENEER                                  |   |
|  STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED |   |

| FOUNDATION KEYNOTE LEGEND |                           |
|---------------------------|---------------------------|
| F1                        | LINE OF SLAB ABOVE        |
| F2                        | LINE OF FRAMED WALL ABOVE |

| FLOOR PLAN KEYNOTE LEGEND |  |
|---------------------------|--|
| 1                         | HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD |
| 2                         | HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR   |
| 4                         | GAS WATER HEATER ON 18" HIGH PLATFORM  |
| 7                         | PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS  |
| 9                         | TEMPERED SAFETY GLASS  |
| 11                        | HALF WALL, HEIGHT AS NOTED   |
| 12                        | INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASSED OPENING U.N.O.  |
| 13                        | SHOWER, TEMPERED GLASS ENCLOSURE   |
| 14                        | TUB-SHOWER COMBO   |
| 16                        | SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS  |
| 19                        | ACCESS HATCH/DOOR. FULLY WEATHER STRIPPED AND INSULATED. (PER NCRC SECTION N1102.2.3)  |



1 FINISHED BASEMENT PLAN '1'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

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PROJECT TITLE:

CAMDEN -  
REVERSE

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

FINISHED  
BASEMENT  
PLAN

PRINT DATE:

02.12.18

SHEET NO:

A1.0.1

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

**CAMDEN -  
REVERSE**

CLIENTS NAME:  
**QUACKENBUSH  
HOMES**

PROJECT NO:

SHEET TITLE:

**FLOOR PLAN '1'**

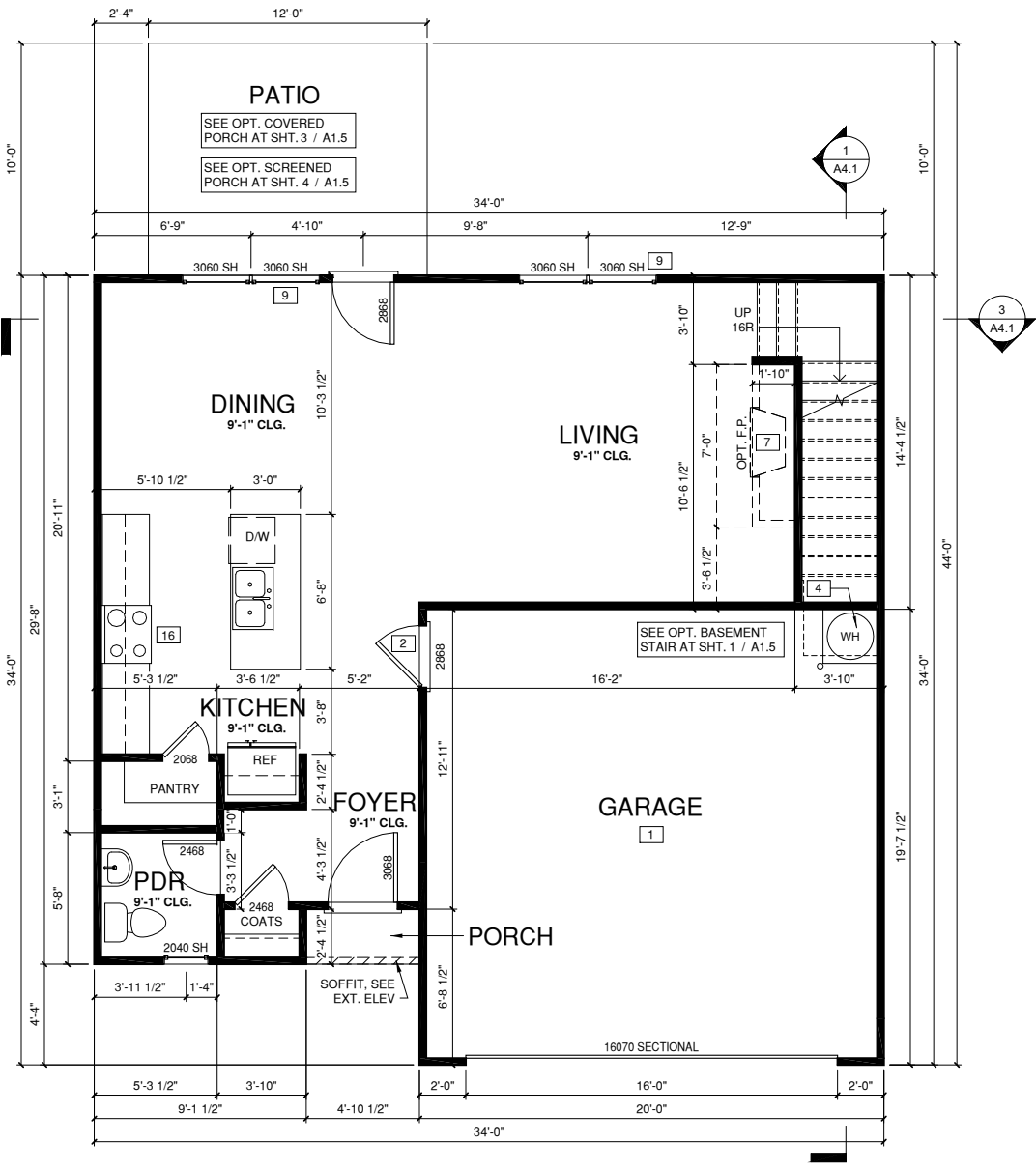
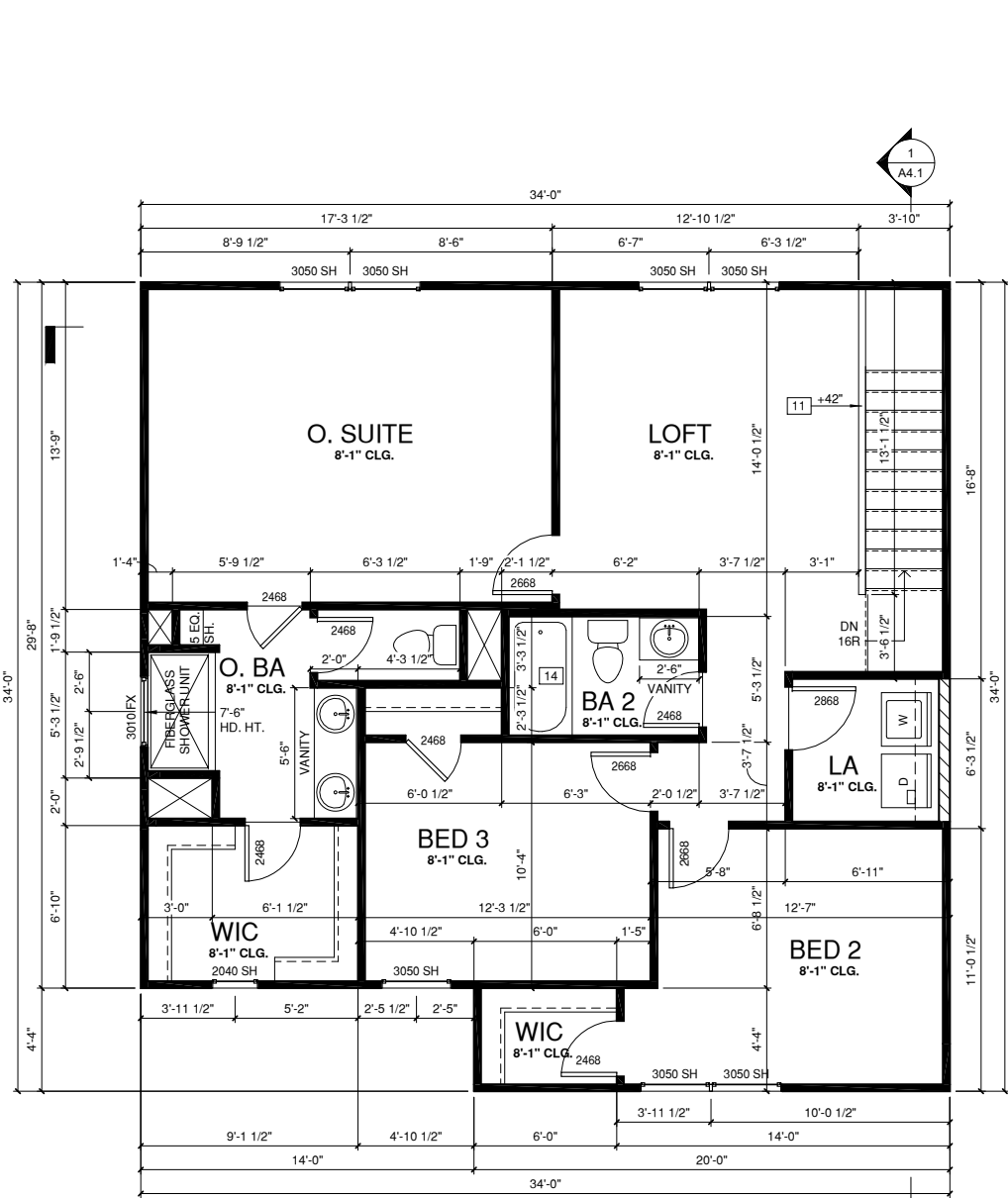
PRINT DATE:

02.12.18

SHEET NO:

**A1.1**

CONSTRUCTION SET



| WALL LEGEND |   |
|-------------|---|
|             | FULL HEIGHT 2X4 WOOD STUD PARTITION           |
|             | FULL HEIGHT 2X6 WOOD STUD PARTITION           |
|             | STONE VENEER                                  |
|             | DRYWALL OPENING HEIGHT AS NOTED ON PLAN       |
|             | BRICK VENEER                                  |
|             | STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED |

| FLOOR PLAN KEYNOTE LEGEND |  |
|---------------------------|--|
| 1                         | HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD |
| 2                         | HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR   |
| 4                         | GAS WATER HEATER ON 18" HIGH PLATFORM  |
| 7                         | PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS  |
| 9                         | TEMPERED SAFETY GLASS  |
| 11                        | HALF WALL, HEIGHT AS NOTED   |
| 12                        | INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASSED OPENING U.N.O.  |
| 13                        | SHOWER, TEMPERED GLASS ENCLOSURE   |
| 14                        | TUB-SHOWER COMBO   |
| 16                        | SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS  |
| 19                        | ACCESS HATCH/DOOR. FULLY WEATHER STRIPPED AND INSULATED. (PER NCRC SECTION N1102.2.3)  |

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PROJECT TITLE:

**CAMDEN -  
REVERSE**

CONSTRUCTION SET

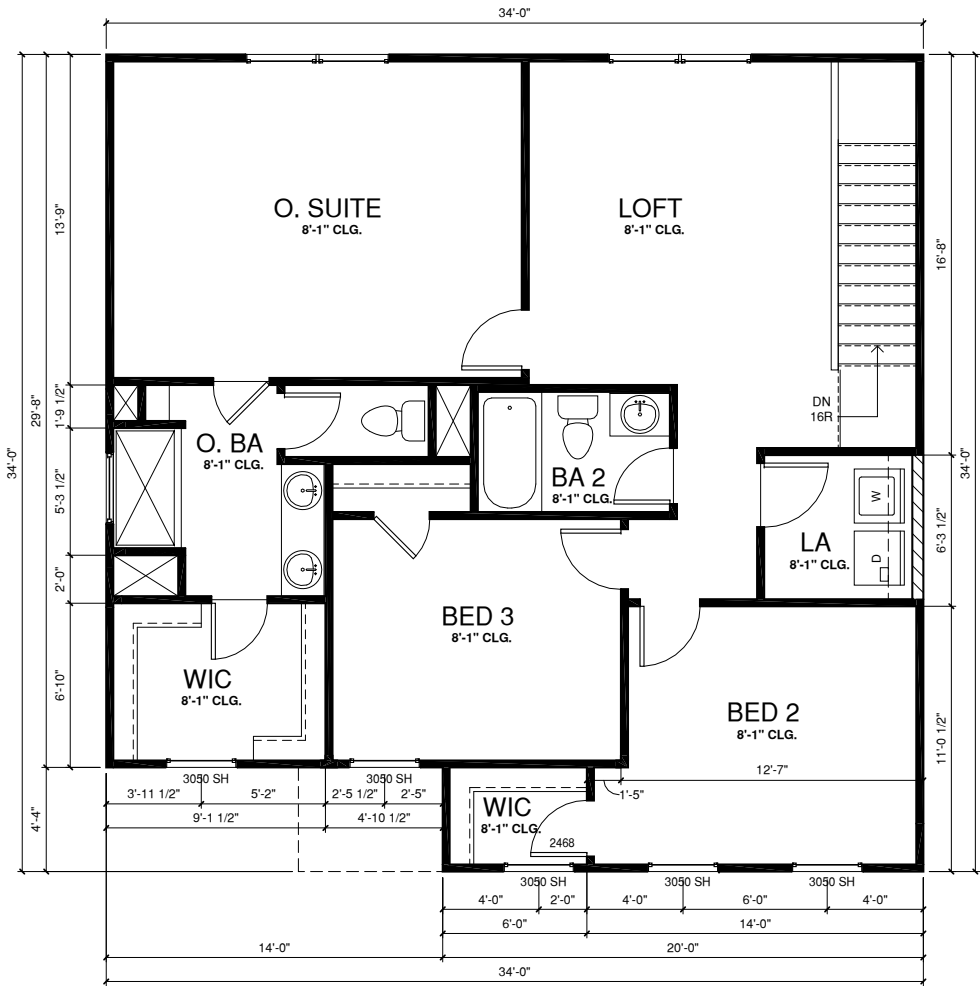
CLIENTS NAME:  
**QUACKENBUSH  
HOMES**

PROJECT NO:

SHEET TITLE:  
**FLOOR PLAN '2'**

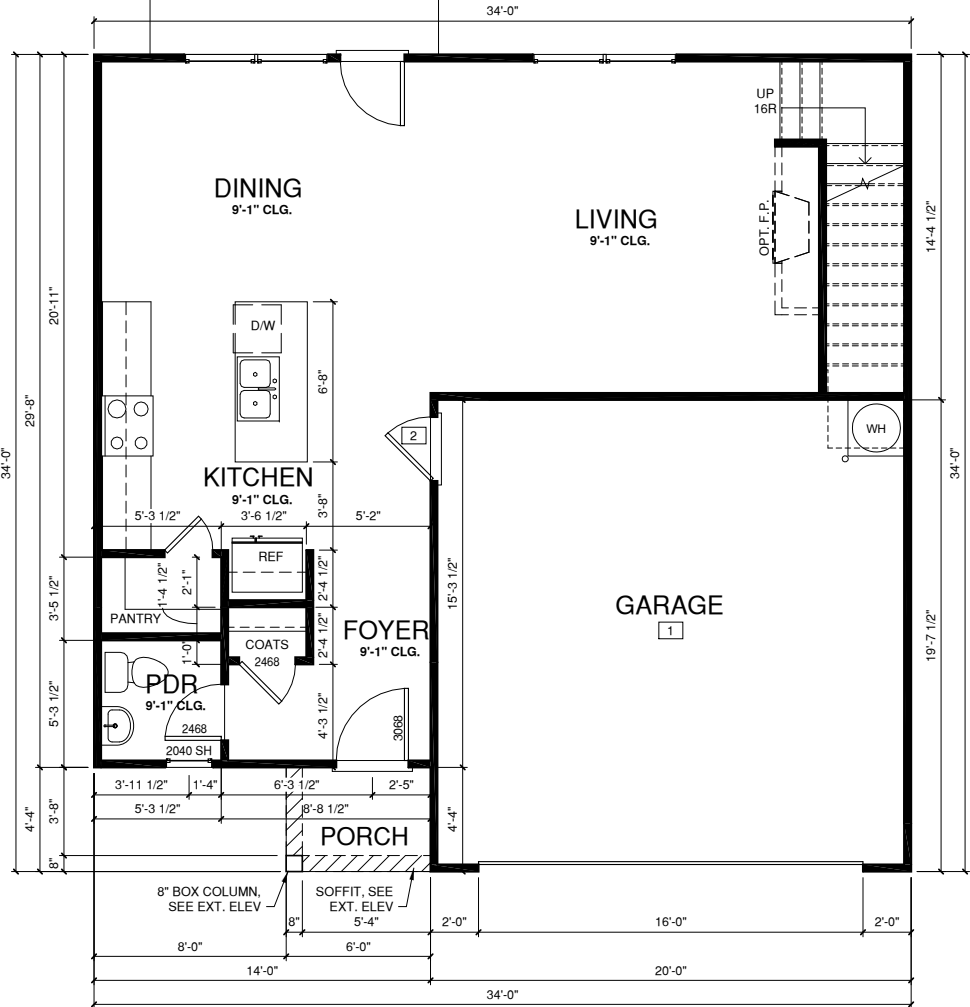
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**02.12.18**

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**A1.2**



**SECOND FLOOR PLAN ELEV '2'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**FIRST FLOOR PLAN ELEV '2'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

**WALL LEGEND**

|  |  |
|--|--|
| FULL HEIGHT<br>2X4 WOOD STUD PARTITION           | FULL HEIGHT<br>2X6 WOOD STUD PARTITION     |
| STONE VENEER                                     | DRYWALL OPENING HEIGHT<br>AS NOTED ON PLAN |
| BRICK VENEER                                     |  |
| STUD WALL BELOW<br>HEIGHT AND STUD SIZE AS NOTED |  |

**FLOOR PLAN KEYNOTE LEGEND**

|    |  |
|----|--|
| 1  | HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD |
| 2  | HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR   |
| 4  | GAS WATER HEATER ON 18" HIGH PLATFORM  |
| 7  | PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS  |
| 9  | TEMPERED SAFETY GLASS  |
| 11 | HALF WALL, HEIGHT AS NOTED   |
| 12 | INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.   |
| 13 | SHOWER, TEMPERED GLASS ENCLOSURE   |
| 14 | TUB-SHOWER COMBO   |
| 16 | SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS  |
| 19 | ACCESS HATCH/DOOR, FULLY WEATHER STRIPPED AND INSULATED. (PER NCRC SECTION N1102.2.3)  |



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CLIENTS NAME:

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PROJECT NO:

SHEET TITLE:

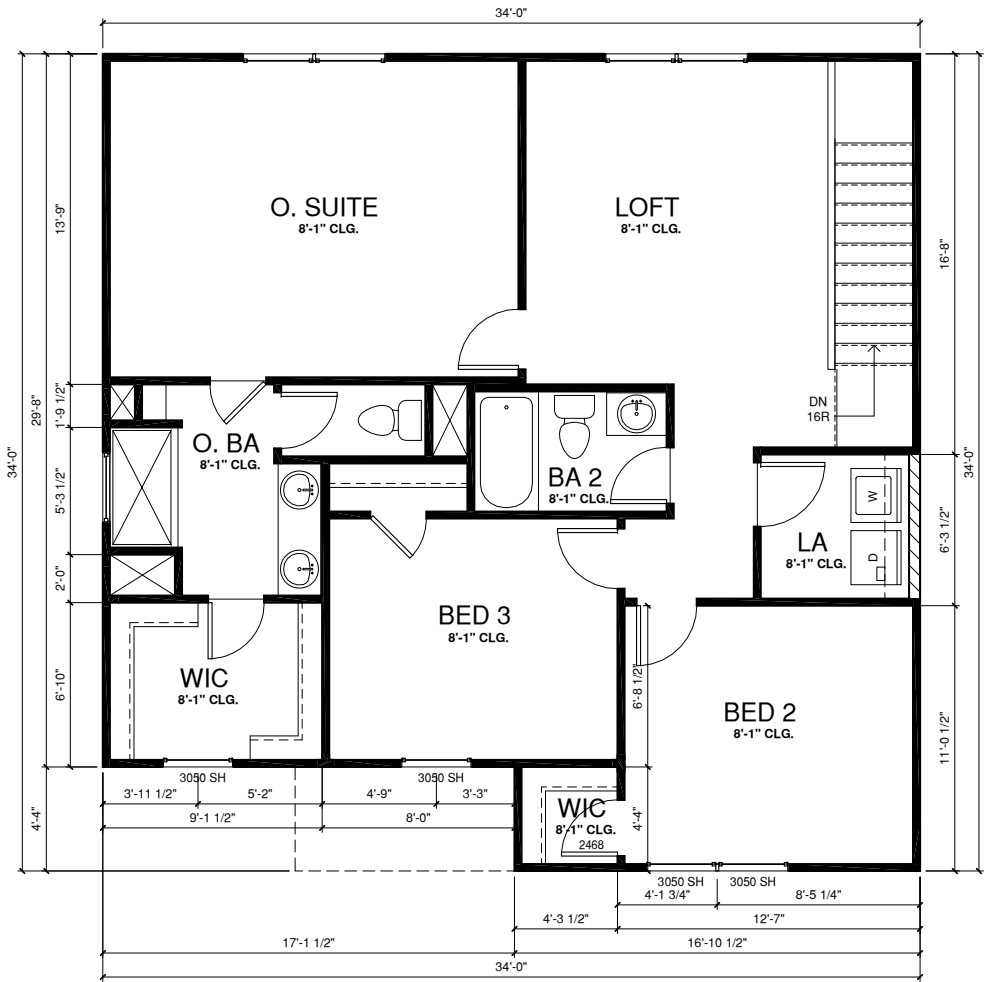
**FLOOR PLAN '3'**

PRINT DATE:

02.12.18

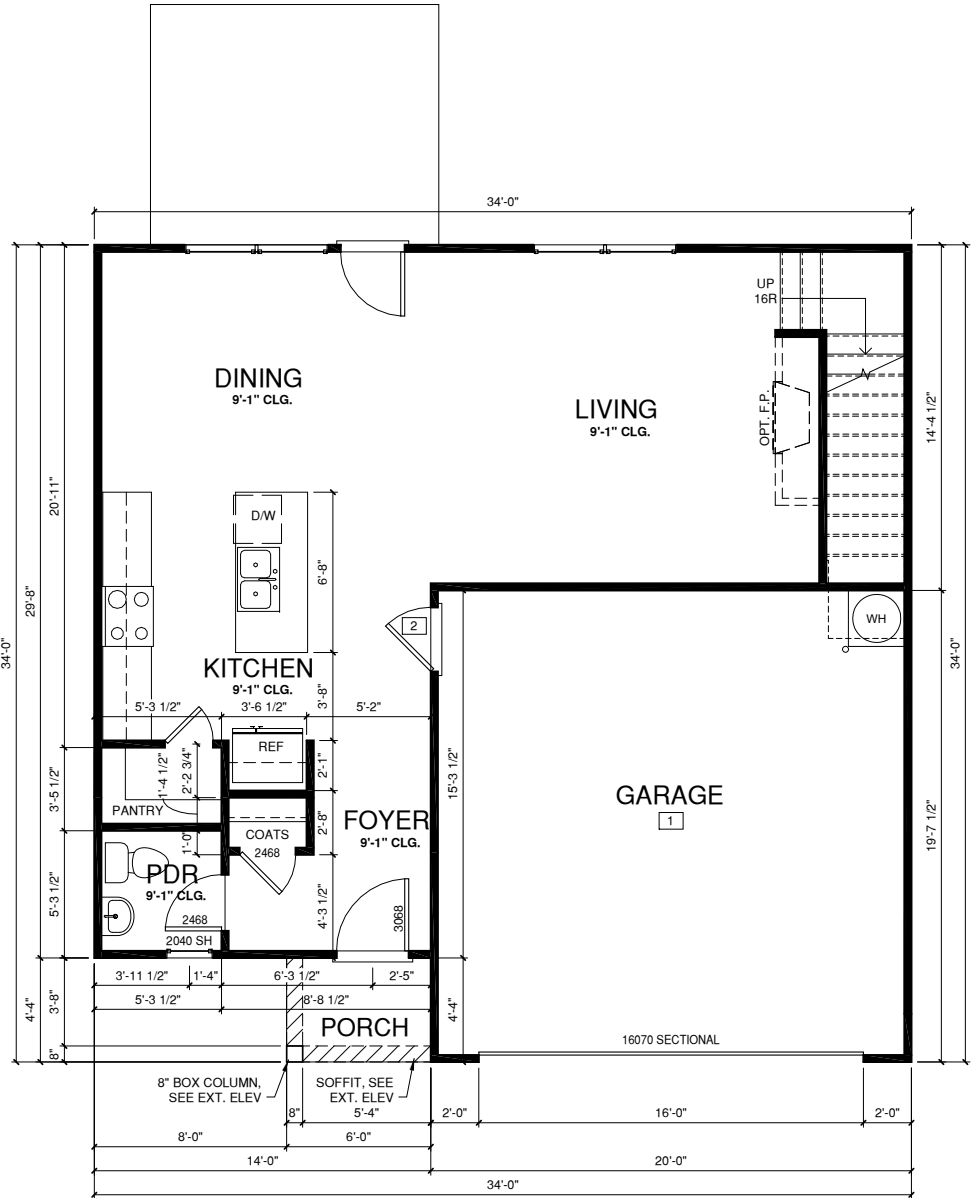
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**A1.3**



**SECOND FLOOR PLAN ELEV '3'**

② 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**FIRST FLOOR PLAN ELEV '3'**

① 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

**WALL LEGEND**

|  |  |  |  |
|--|--|--|--|
|  | FULL HEIGHT<br>2X4 WOOD STUD PARTITION           |  | FULL HEIGHT<br>2X6 WOOD STUD PARTITION     |
|  | STONE VENEER                                     |  | DRYWALL OPENING HEIGHT<br>AS NOTED ON PLAN |
|  | BRICK VENEER                                     |  |  |
|  | STUD WALL BELOW<br>HEIGHT AND STUD SIZE AS NOTED |  |  |

**FLOOR PLAN KEYNOTE LEGEND**

| 1  | HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD |
|----|--|
| 2  | HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR   |
| 4  | GAS WATER HEATER ON 18" HIGH PLATFORM  |
| 7  | PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS  |
| 9  | TEMPERED SAFETY GLASS  |
| 11 | HALF WALL, HEIGHT AS NOTED   |
| 12 | INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.   |
| 13 | SHOWER, TEMPERED GLASS ENCLOSURE   |
| 14 | TUB-SHOWER COMBO   |
| 16 | SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS  |
| 19 | ACCESS HATCH/DOOR, FULLY WEATHER STRIPPED AND INSULATED. (PER NCRC SECTION N1102.2.3)  |

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PROJECT TITLE:

**CAMDEN -  
REVERSE**

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

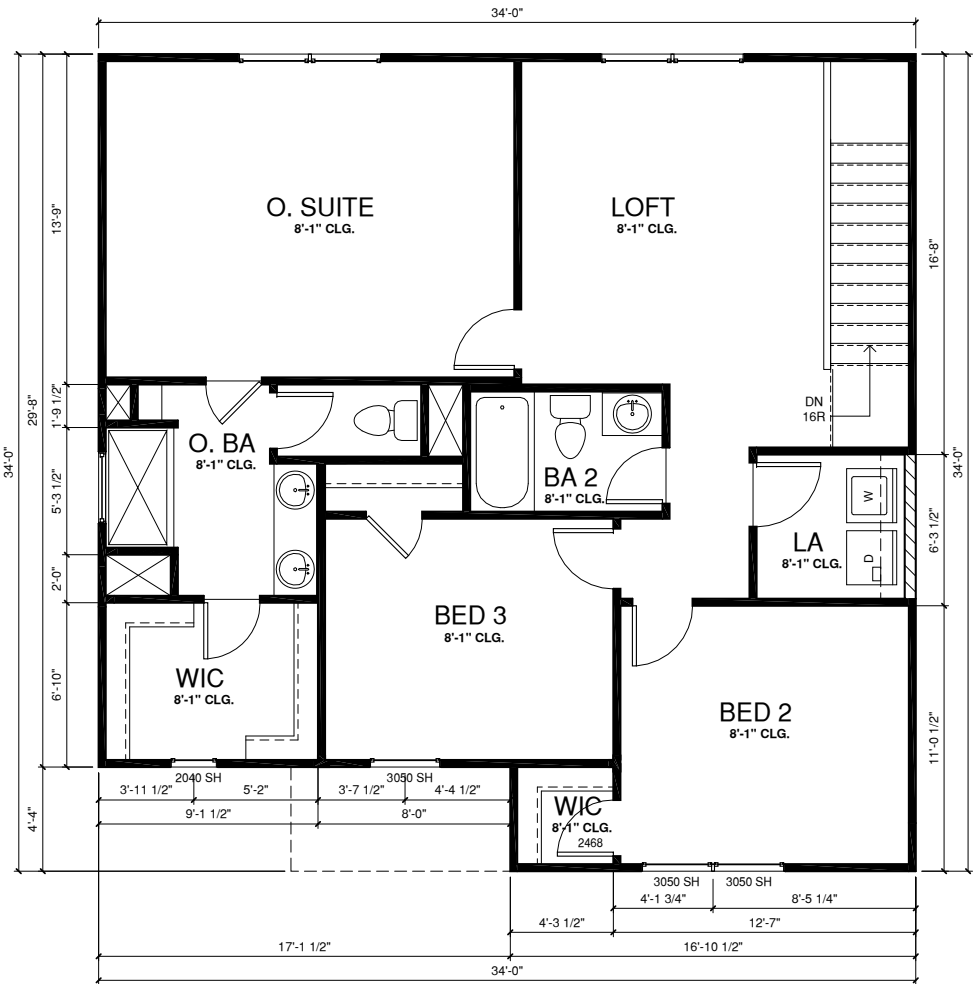
**FLOOR PLAN '4'**

PRINT DATE:

02.12.18

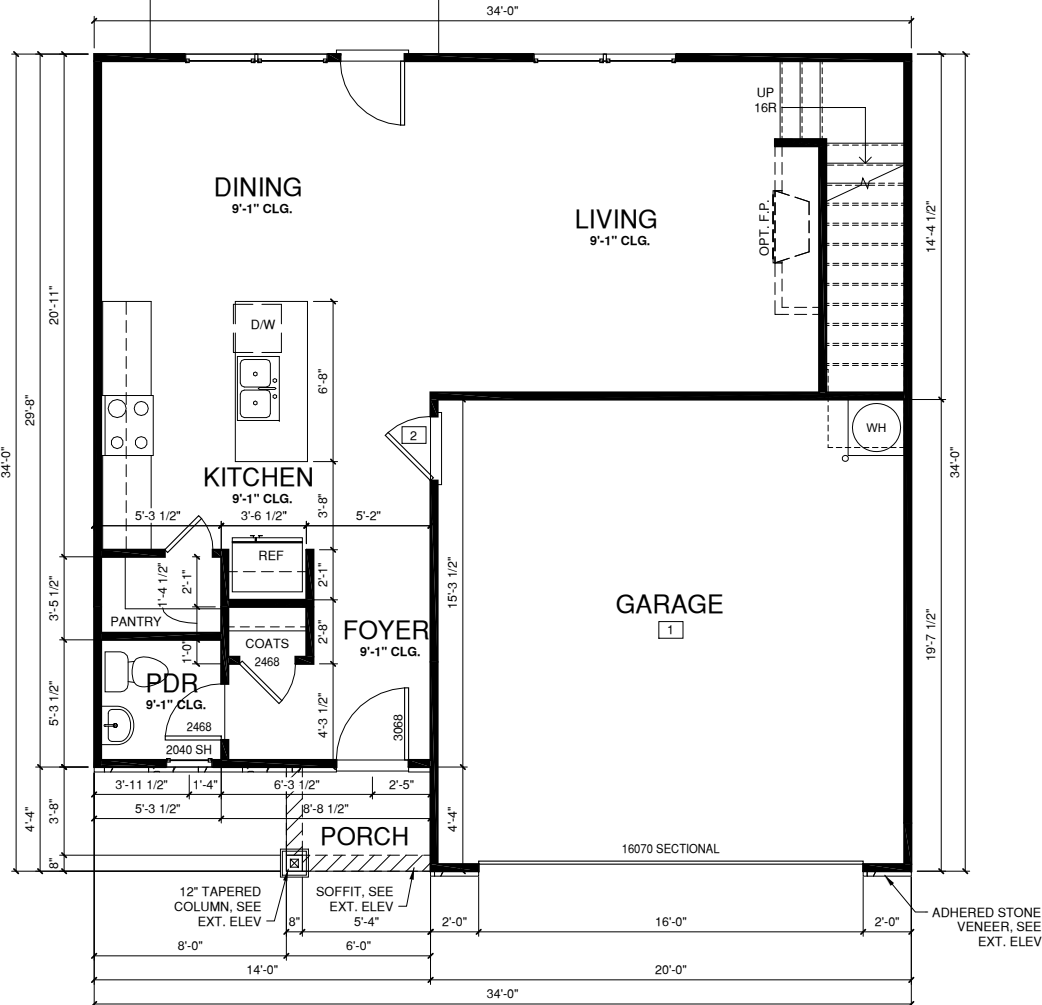
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**A1.4**



**SECOND FLOOR PLAN ELEV '4'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**FIRST FLOOR PLAN ELEV '4'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

**WALL LEGEND**

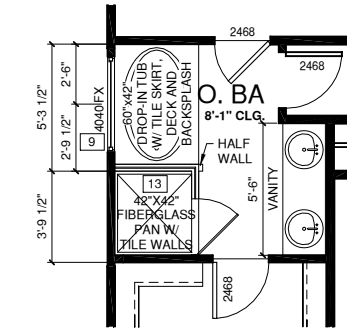
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|  | FULL HEIGHT<br>2X4 WOOD STUD PARTITION           |
|  | FULL HEIGHT<br>2X6 WOOD STUD PARTITION           |
|  | STONE VENEER                                     |
|  | DRYWALL OPENING HEIGHT<br>AS NOTED ON PLAN       |
|  | BRICK VENEER                                     |
|  | STUD WALL BELOW<br>HEIGHT AND STUD SIZE AS NOTED |

**FLOOR PLAN KEYNOTE LEGEND**

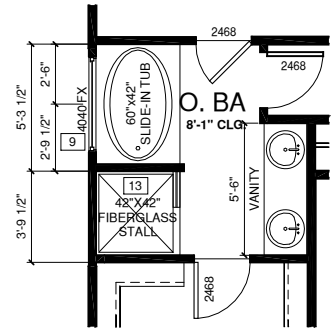
|    |  |
|----|--|
| 1  | HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD |
| 2  | HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR   |
| 4  | GAS WATER HEATER ON 18" HIGH PLATFORM  |
| 7  | PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS  |
| 9  | TEMPERED SAFETY GLASS  |
| 11 | HALF WALL, HEIGHT AS NOTED   |
| 12 | INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.   |
| 13 | SHOWER, TEMPERED GLASS ENCLOSURE   |
| 14 | TUB-SHOWER COMBO   |
| 16 | SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS  |
| 19 | ACCESS HATCH/DOOR. FULLY WEATHER STRIPPED AND INSULATED. (PER NCRC SECTION N1102.2.3)  |

| WALL LEGEND |   |
|-------------|---|
|             | FULL HEIGHT 2X4 WOOD STUD PARTITION           |
|             | STONE VENEER                                  |
|             | BRICK VENEER                                  |
|             | STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED |
|             | FULL HEIGHT 2X6 WOOD STUD PARTITION           |
|             | DRYWALL OPENING HEIGHT AS NOTED ON PLAN       |

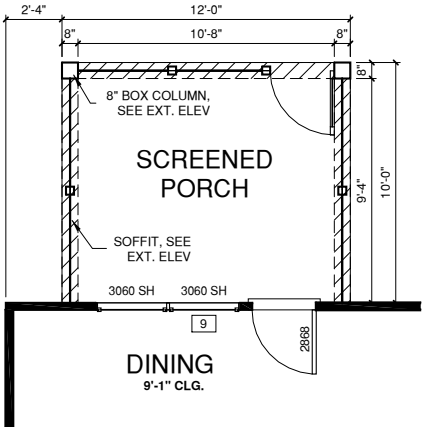
| FLOOR PLAN KEYNOTE LEGEND |  |
|---------------------------|--|
| 1                         | HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD |
| 2                         | HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR   |
| 4                         | GAS WATER HEATER ON 18" HIGH PLATFORM  |
| 7                         | PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS  |
| 9                         | TEMPERED SAFETY GLASS  |
| 11                        | HALF WALL, HEIGHT AS NOTED   |
| 12                        | INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.   |
| 13                        | SHOWER, TEMPERED GLASS ENCLOSURE   |
| 14                        | TUB-SHOWER COMBO   |
| 16                        | SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS  |
| 19                        | ACCESS HATCH/DOOR. FULLY WEATHER STRIPPED AND INSULATED. (PER NCRC SECTION N1102.2.3)  |



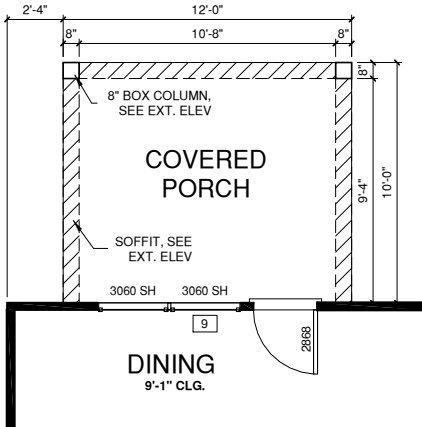
6 OPT. UP BATH #2  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



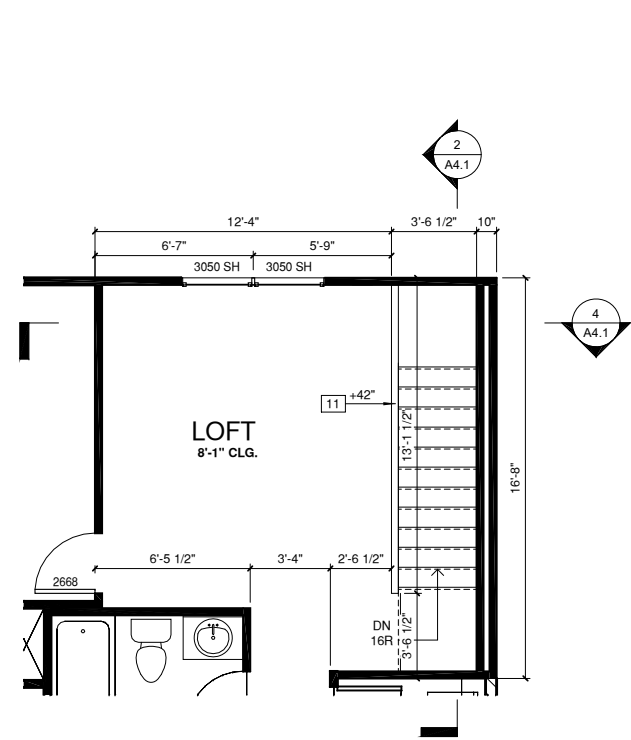
5 OPT. UP BATH #1  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



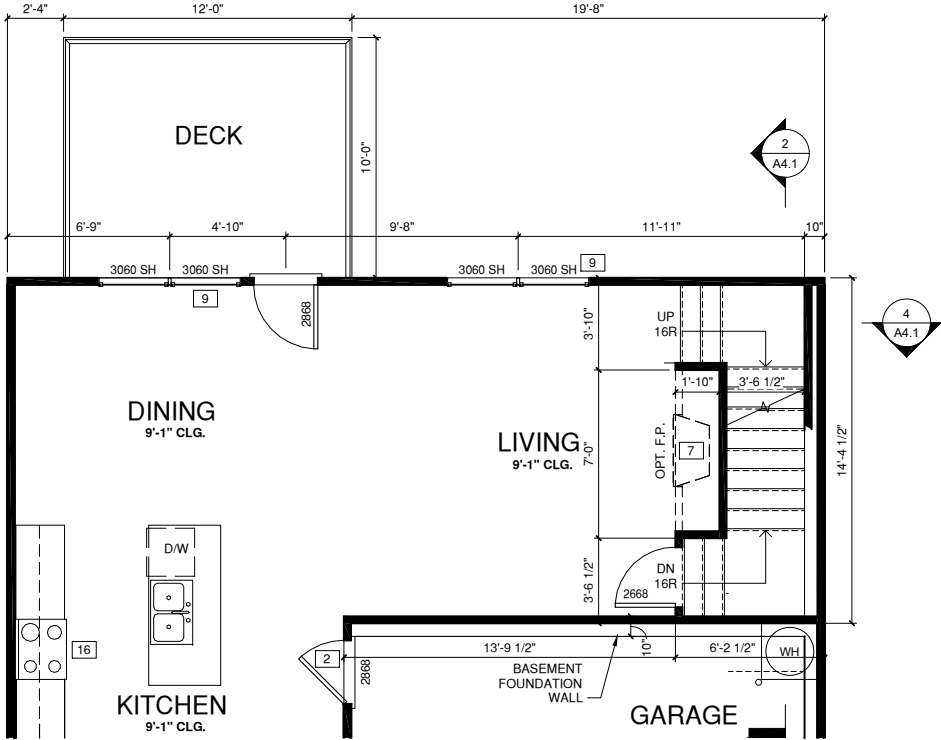
4 OPT. SCREENED PORCH  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



3 OPT. COVERED PORCH  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



2 LOFT W/ OPT. BASEMENT STAIR  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



1 OPT. BASEMENT STAIR  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

CAMDEN -  
REVERSE

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

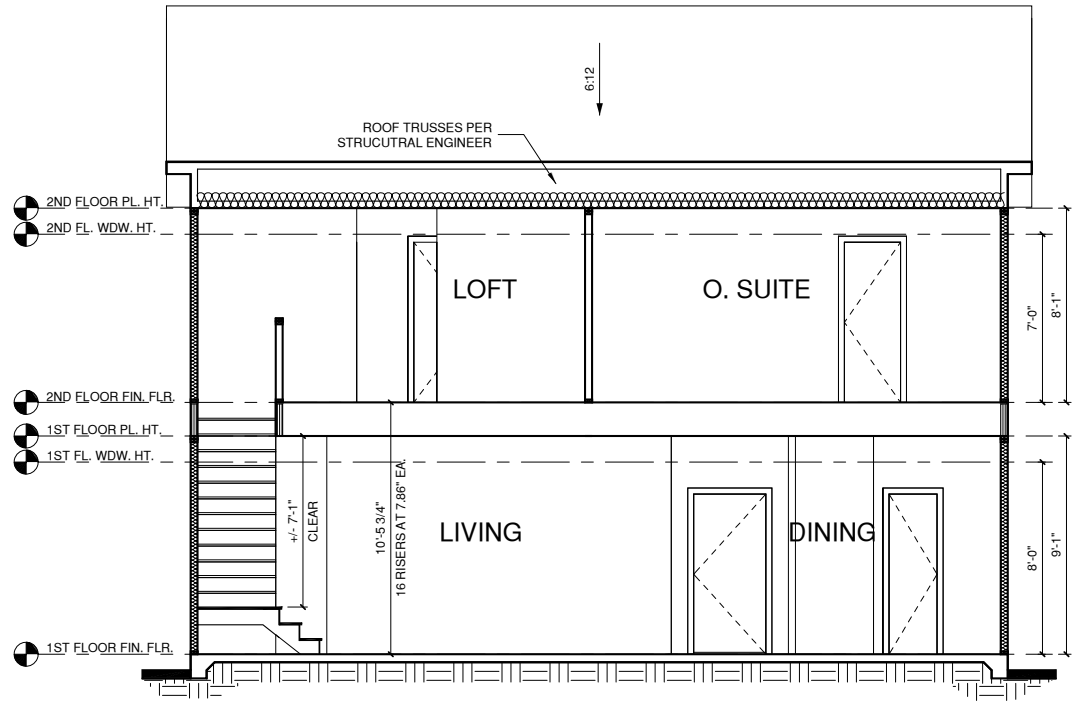
FLOOR PLAN  
OPTIONS

PRINT DATE:

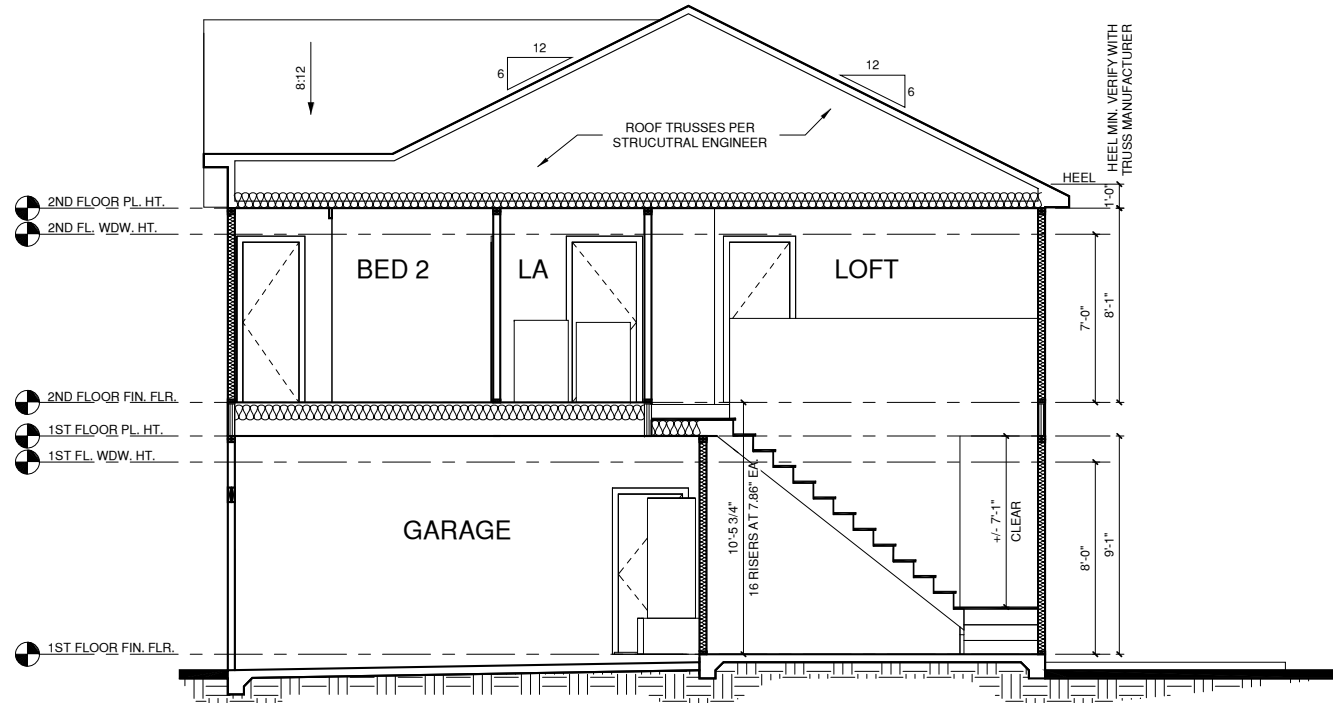
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SHEET NO:

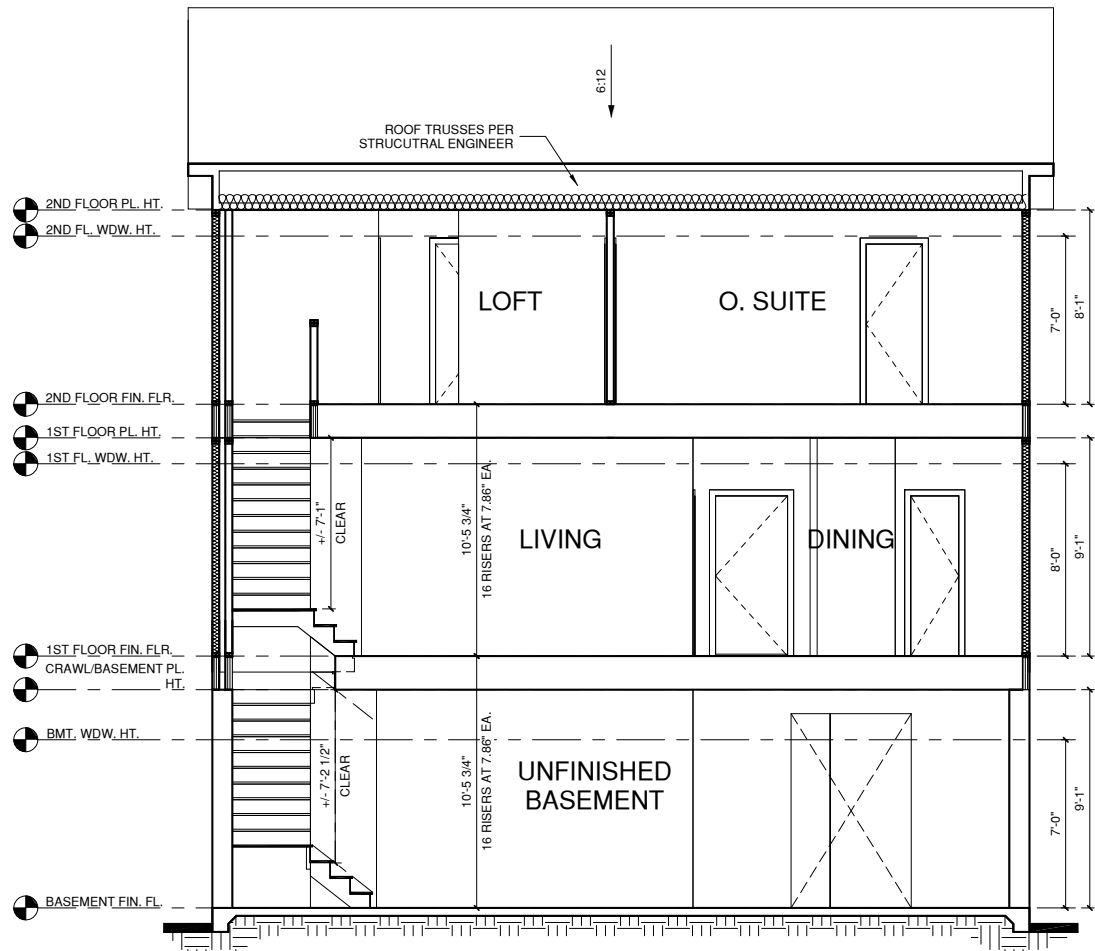
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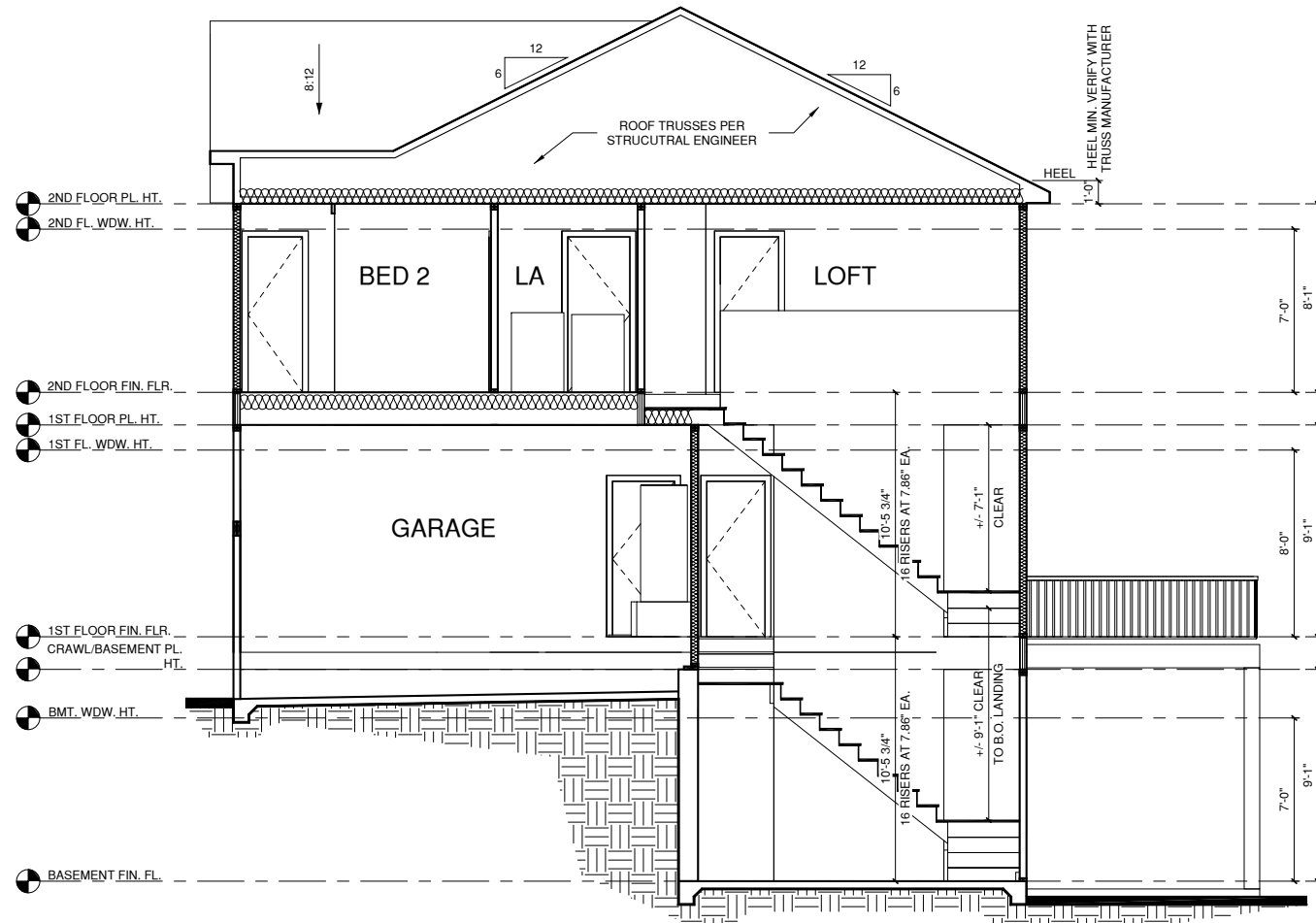
**BUILDING SECTION 2**  
 1/4" = 1'-0" AT 22"X34" LAYOUT = 1'-0" AT 11" X 17" LAYOUT



**BUILDING SECTION 1**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**BUILDING SECTION 2 W/ OPT. BASEMENT**  
 1/4" = 1'-0" AT 22"X34" LAYOUT = 1'-0" AT 11" X 17" LAYOUT



**BUILDING SECTION 1 W/ OPT. BASEMENT**  
 1/4" = 1'-0" AT 22"X34" LAYOUT = 1'-0" AT 11" X 17" LAYOUT

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

**CAMDEN - REVERSE**

**CONSTRUCTION SET**

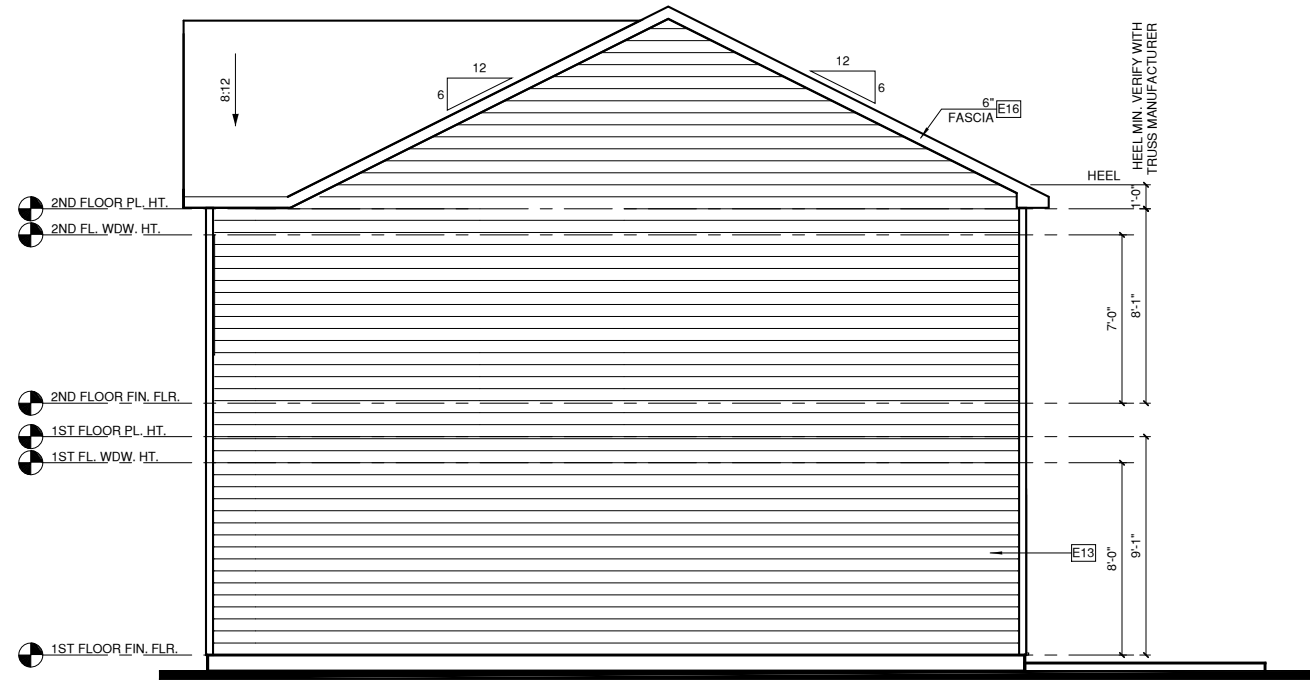
CLIENTS NAME:  
 QUACKENBUSH HOMES

PROJECT NO:

SHEET TITLE:  
**SECTIONS**

PRINT DATE:  
 02.12.18

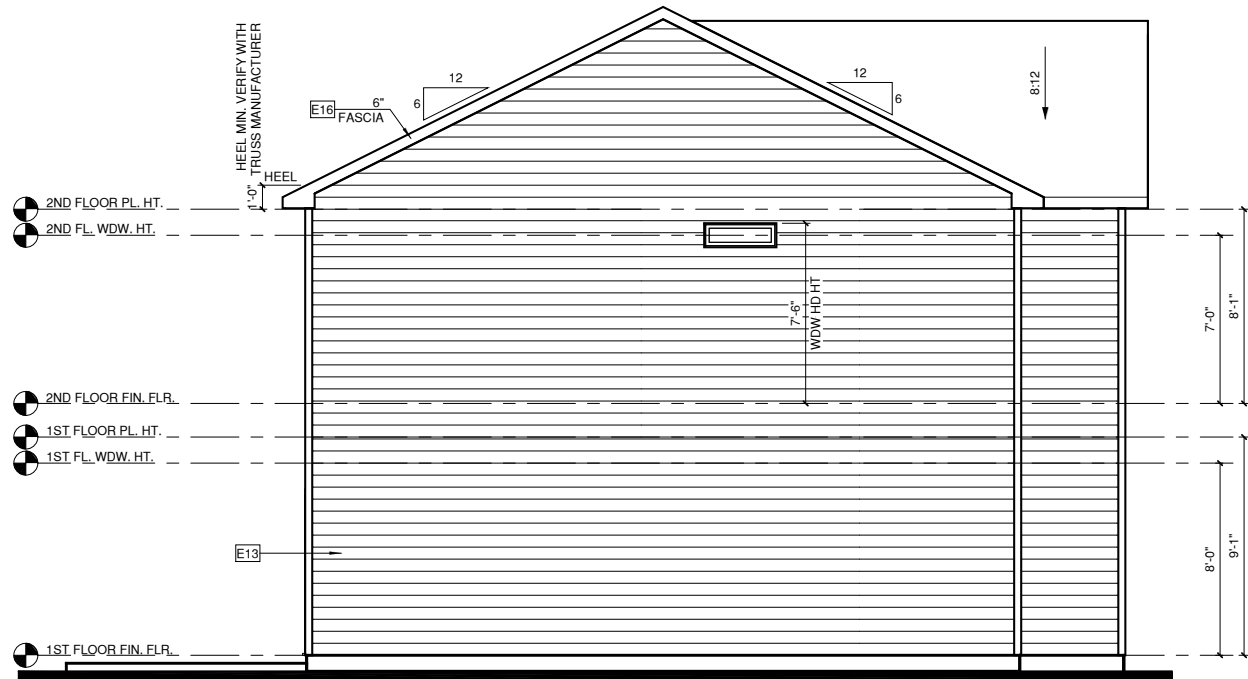
SHEET NO:  
**A4.1**



3 RIGHT ELEVATION '1'  
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



1 FRONT ELEVATION '1'  
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



4 LEFT ELEVATION '1'  
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



2 REAR ELEVATION '1'  
1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

#### NOTES:

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

-WINDOW HEAD HEIGHTS:  
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

#### ELEVATION KEYNOTE LEGEND

|     |   |
|-----|---|
| E1  | ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED  |
| E7  | FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED  |
| E9  | CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS |
| E12 | FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS   |
| E13 | FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS   |
| E15 | FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)                                  |
| E16 | 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED   |
| E17 | FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED   |
| E18 | PROVIDE GUARDRAIL PER NCRC SECTION R312   |

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

**CAMDEN -  
REVERSE**

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

**ELEVATIONS '1'**

PRINT DATE:

02.12.18

SHEET NO:

**A5.1**

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

**CAMDEN -  
REVERSE**

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

**ELEV OPTIONS**

PRINT DATE:

02.12.18

SHEET NO:

**A5.1.1**



## REAR ELEVATION W/ OPT. COVERED PORCH

1 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

### NOTES:

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

#### -WINDOW HEAD HEIGHTS:

1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

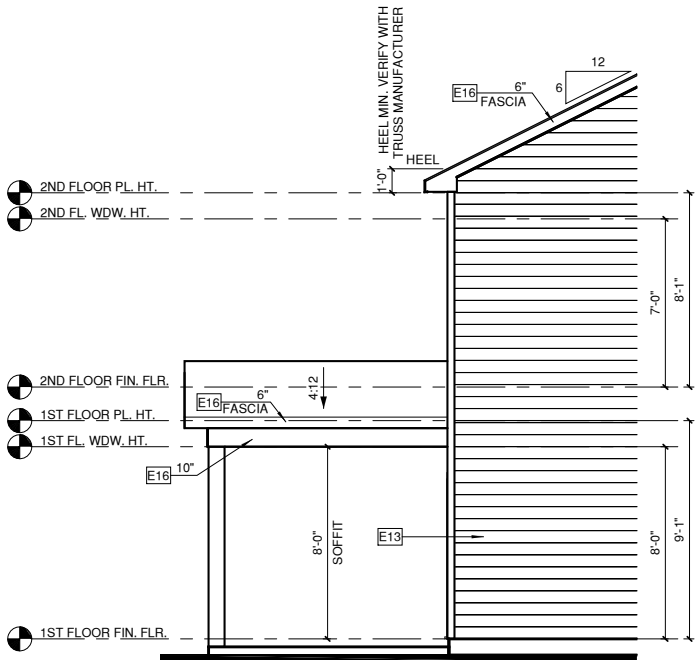
-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

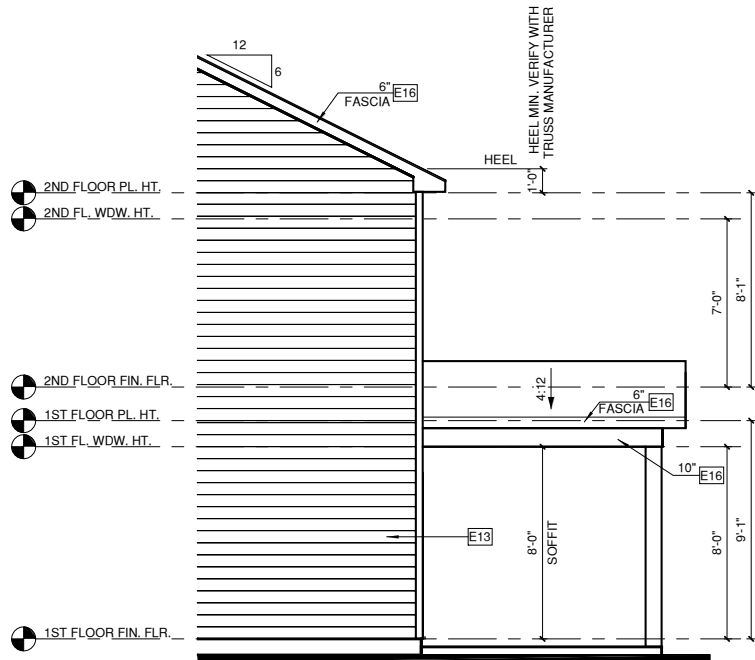
### ELEVATION KEYNOTE LEGEND

|     |   |
|-----|---|
| E1  | ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED  |
| E7  | FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED  |
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| E16 | 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED   |
| E17 | FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED   |
| E18 | PROVIDE GUARDRAIL PER NCRC SECTION R312   |



## LEFT ELEVATION W/ OPT. COVERED PORCH

3 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



## RIGHT ELEVATION W/ OPT. COVERED PORCH

2 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

**CAMDEN -  
REVERSE**

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

**ELEV OPTIONS**

PRINT DATE:

02.12.18

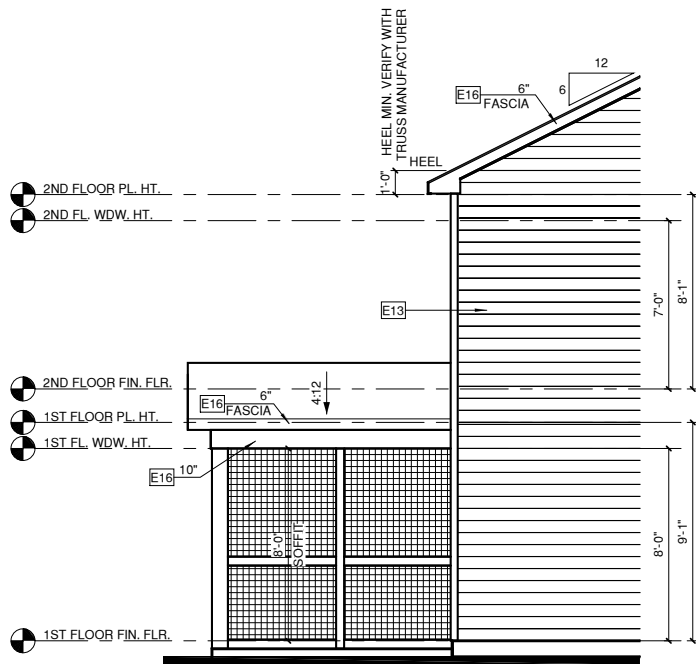
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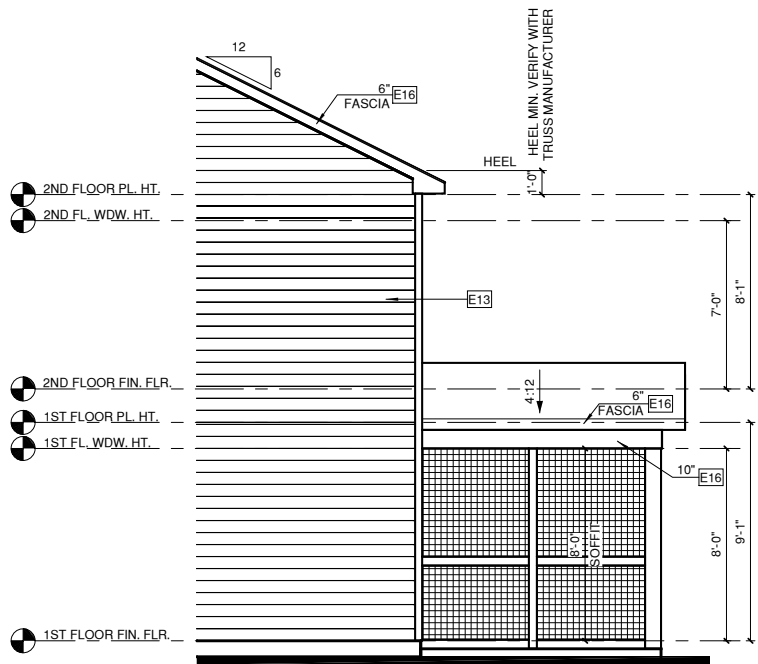
## REAR ELEVATION W/ OPT. SCREENED PORCH

1 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



## LEFT ELEVATION W/ OPT. SCREENED PORCH

3 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



## RIGHT ELEVATION W/ OPT. SCREENED PORCH

2 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE  
THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN  
72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE  
WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE  
2012 IRC SECTION R312.2.

### NOTES:

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN.  
BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

-WINDOW HEAD HEIGHTS:  
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
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-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS  
SHOWN ON THE EXTERIOR ELEVATIONS

-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE  
ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S  
WRITTEN INSTRUCTIONS.

### ELEVATION KEYNOTE LEGEND

|     |  |
|-----|--|
| E1  | ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED   |
| E7  | FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED   |
| E9  | CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST<br>BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS |
| E12 | FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS  |
| E13 | FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS  |
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| E17 | FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED  |
| E18 | PROVIDE GUARDRAIL PER NCRC SECTION R312  |

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

**NOTES:**

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

-WINDOW HEAD HEIGHTS:  
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
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-ROOFING: PITCHED SHINGLES PER BUILDER.

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-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

| ELEVATION KEYNOTE LEGEND |   |
|--------------------------|---|
| E1                       | ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED  |
| E7                       | FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED  |
| E9                       | CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS |
| E12                      | FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS   |
| E13                      | FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS   |
| E15                      | FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)                                  |
| E16                      | 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED   |
| E17                      | FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED   |
| E18                      | PROVIDE GUARDRAIL PER NCRC SECTION R312   |



REAR ELEVATION W/ OPT.  
BASEMENT

1 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

**CAMDEN -  
REVERSE**

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

**ELEV OPTIONS**

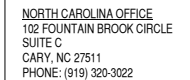
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02.12.18

SHEET NO:

**A5.1.3**





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PROJECT TITLE:

CAMDEN -  
REVERSE

## CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

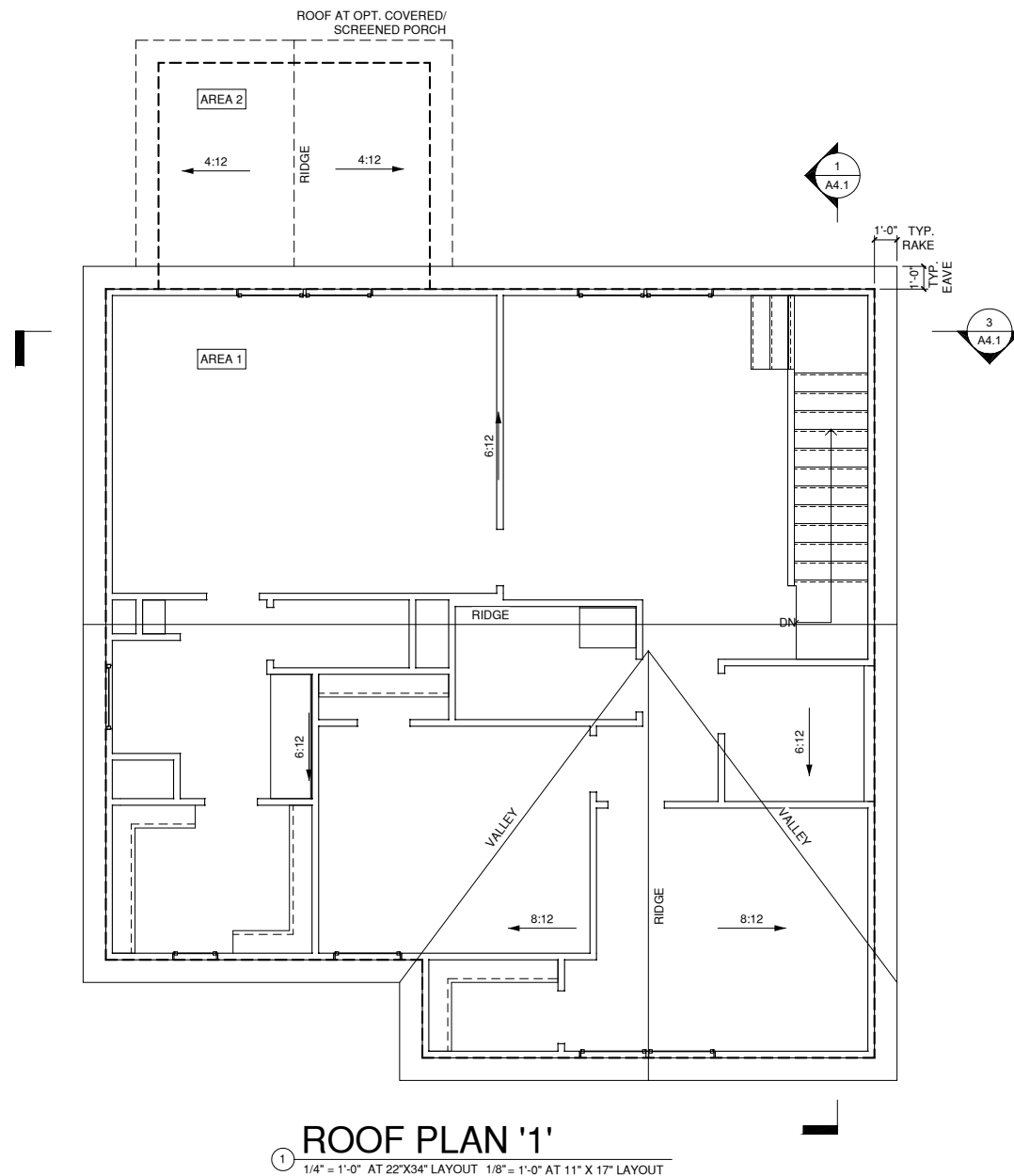
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PRINT DATE:

02.12.18

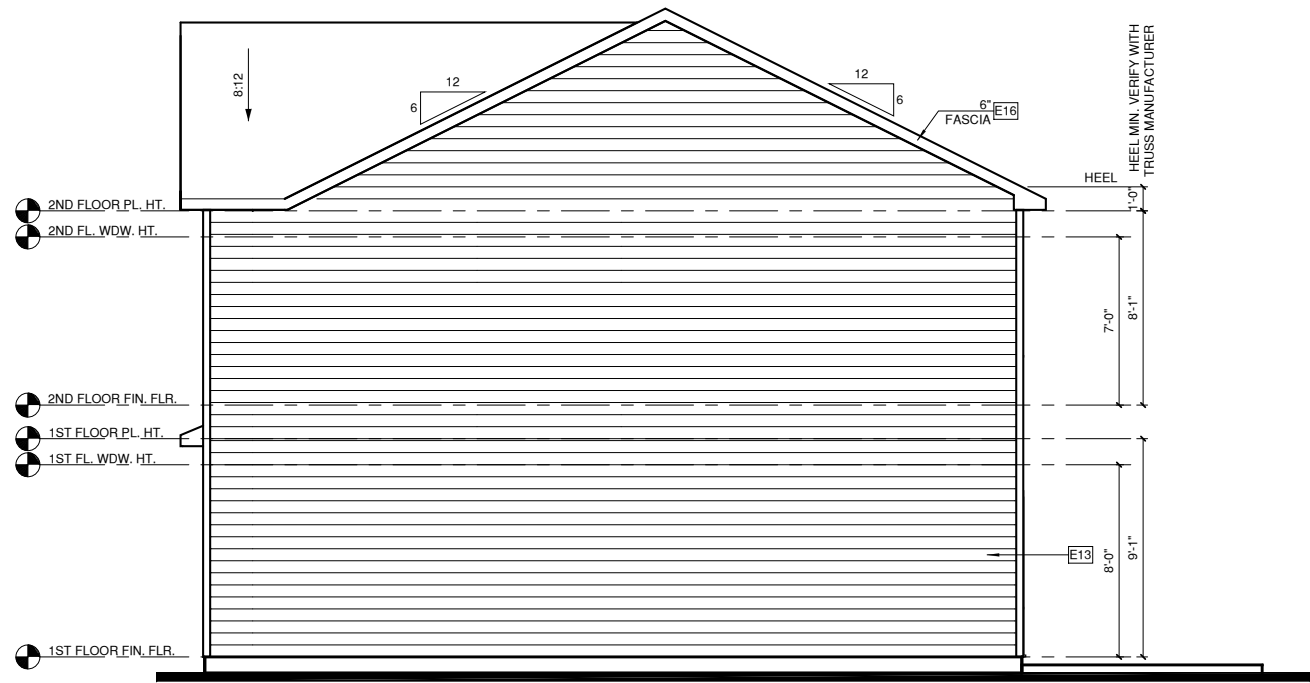
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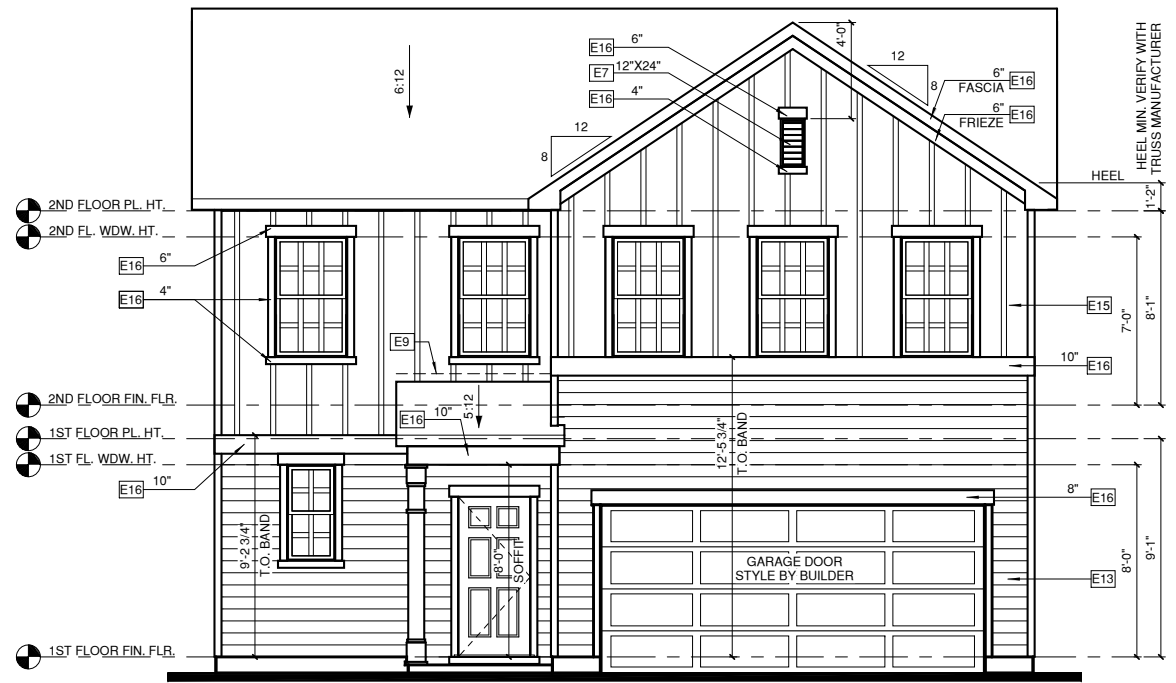


| 1/150 RATIO:   | 1/300 RATIO:   |
|--|--|
| <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p> | <p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A WARM-BARRIER PROVIDING A TRANSMISSION RATE NOT EXCEEDING 1 PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p> |
| <p><b>NOTES:</b></p>   |  |
| <ul style="list-style-type: none"> <li>❑ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.</li> <li>❑ DASHED LINES INDICATE WALL BELOW.</li> <li>❑ LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.</li> <li>❑ PITCHED ROOFS AS NOTED.</li> </ul>   | <ul style="list-style-type: none"> <li>❑ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.</li> <li>❑ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.</li> </ul>   |

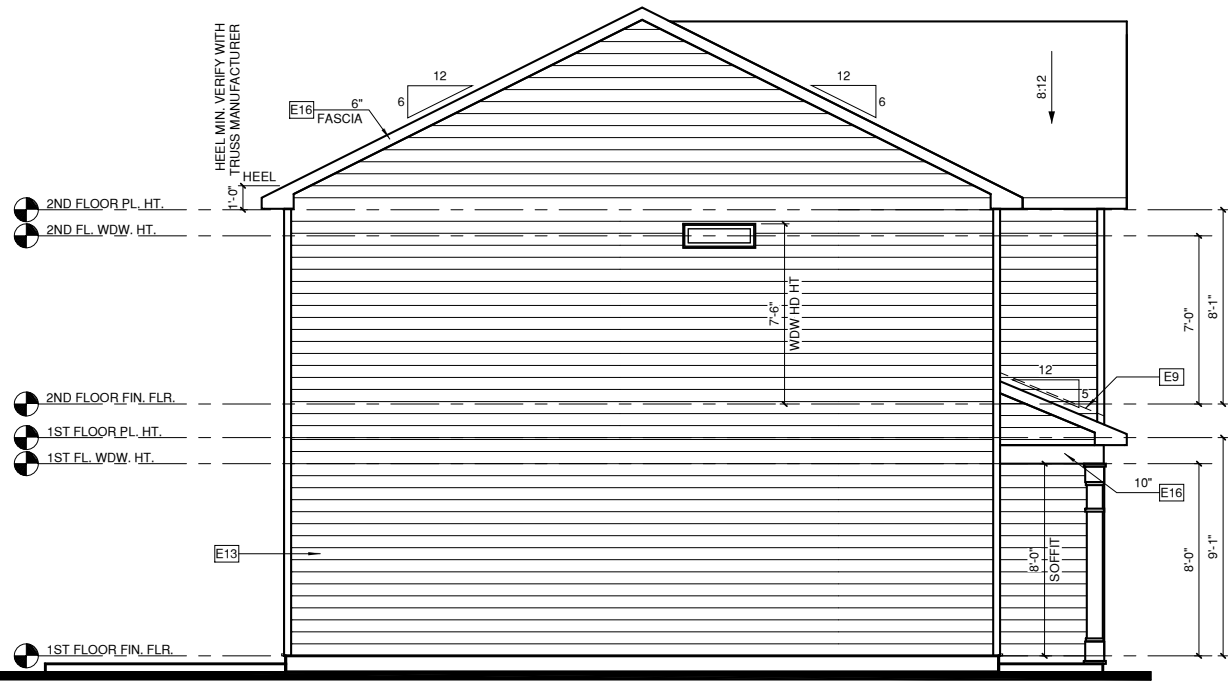
| ROOF VENT CALC. ELEV. 'A' |         |                           |                           |
|---------------------------|---------|---------------------------|---------------------------|
| Name                      | Area    | 1/300 RATIO AT HIGH & LOW | 1/150 RATIO AT HIGH & LOW |
| AREA 1                    | 1095 SF | 262.88 in <sup>2</sup>    | 525.76 in <sup>2</sup>    |
| AREA 2                    | 120 SF  | 28.80 in <sup>2</sup>     | 57.60 in <sup>2</sup>     |



3 RIGHT ELEVATION '2'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



1 FRONT ELEVATION '2'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



4 LEFT ELEVATION '2'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



2 REAR ELEVATION '2'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

#### NOTES:

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

#### -WINDOW HEAD HEIGHTS:

1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

#### ELEVATION KEYNOTE LEGEND

|     |   |
|-----|---|
| E1  | ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED  |
| E7  | FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED  |
| E9  | CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS |
| E12 | FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS   |
| E13 | FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS   |
| E15 | FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)                                  |
| E16 | 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED   |
| E17 | FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED   |
| E18 | PROVIDE GUARDRAIL PER NCRS SECTION R312   |

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

**CAMDEN -  
REVERSE**

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

**ELEVATIONS '2'**

PRINT DATE:

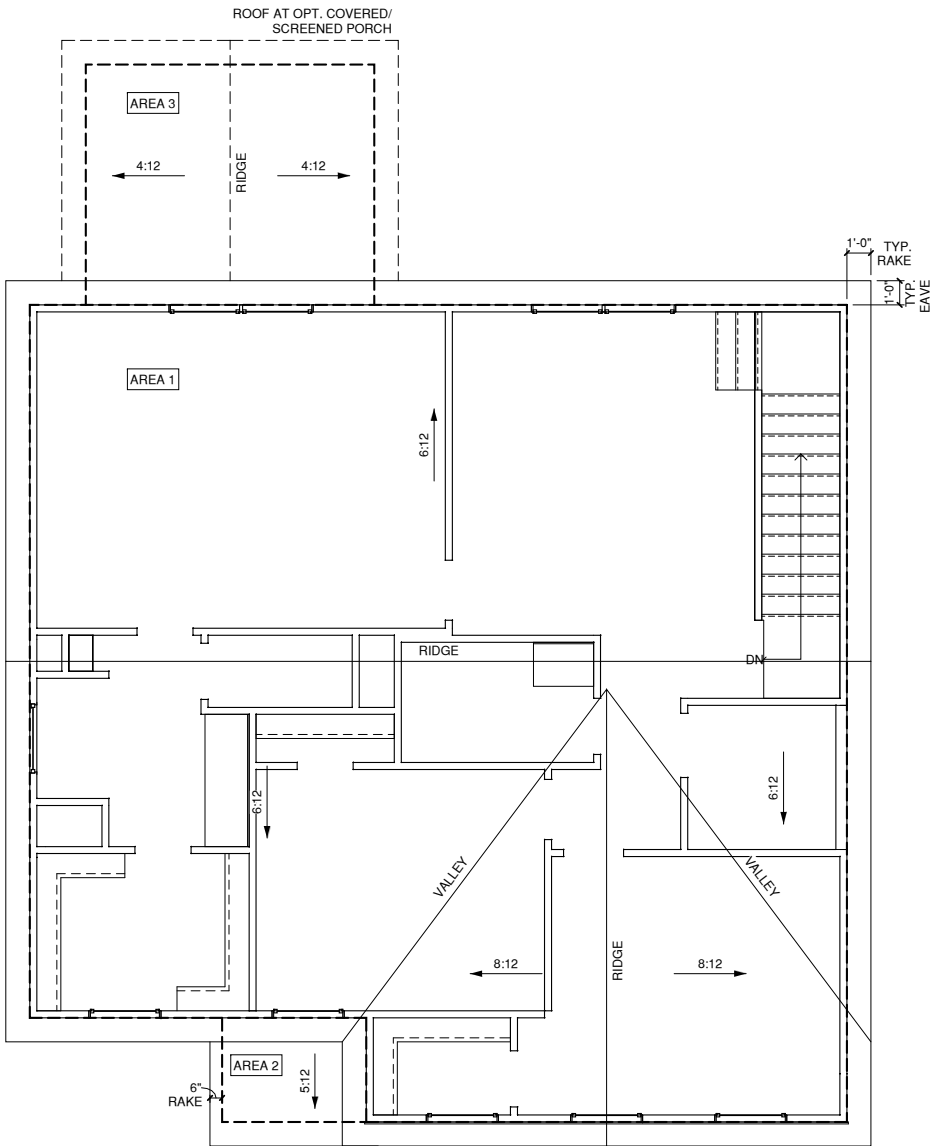
02.12.18

SHEET NO:

**A5.2**

| 1/150 RATIO:  | 1/300 RATIO:  |
|---|---|
| GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL. | AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING I-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.   |
| ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.  | GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL. |
| PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.  | ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.  |
| NOTES:  |   |
| <div><div></div>ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.</div> <div><div></div>DASHED LINES INDICATE WALL BELOW.</div> <div><div></div>LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.</div> <div><div></div>PITCHED ROOFS AS NOTED.</div>   | <div><div></div>TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.</div> <div><div></div>ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.</div>         |

| ROOF VENT CALC. ELEV. 'B' |         |                           |                           |
|---------------------------|---------|---------------------------|---------------------------|
| Name                      | Area    | 1/300 RATIO AT HIGH & LOW | 1/150 RATIO AT HIGH & LOW |
| AREA 1                    | 1095 SF | 262.88 in²                | 525.76 in²                |
| AREA 2                    | 26 SF   | 6.24 in²                  | 12.48 in²                 |
| AREA 3                    | 120 SF  | 28.80 in²                 | 57.60 in²                 |



**1 ROOF PLAN '2'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

**CAMDEN -  
REVERSE**

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

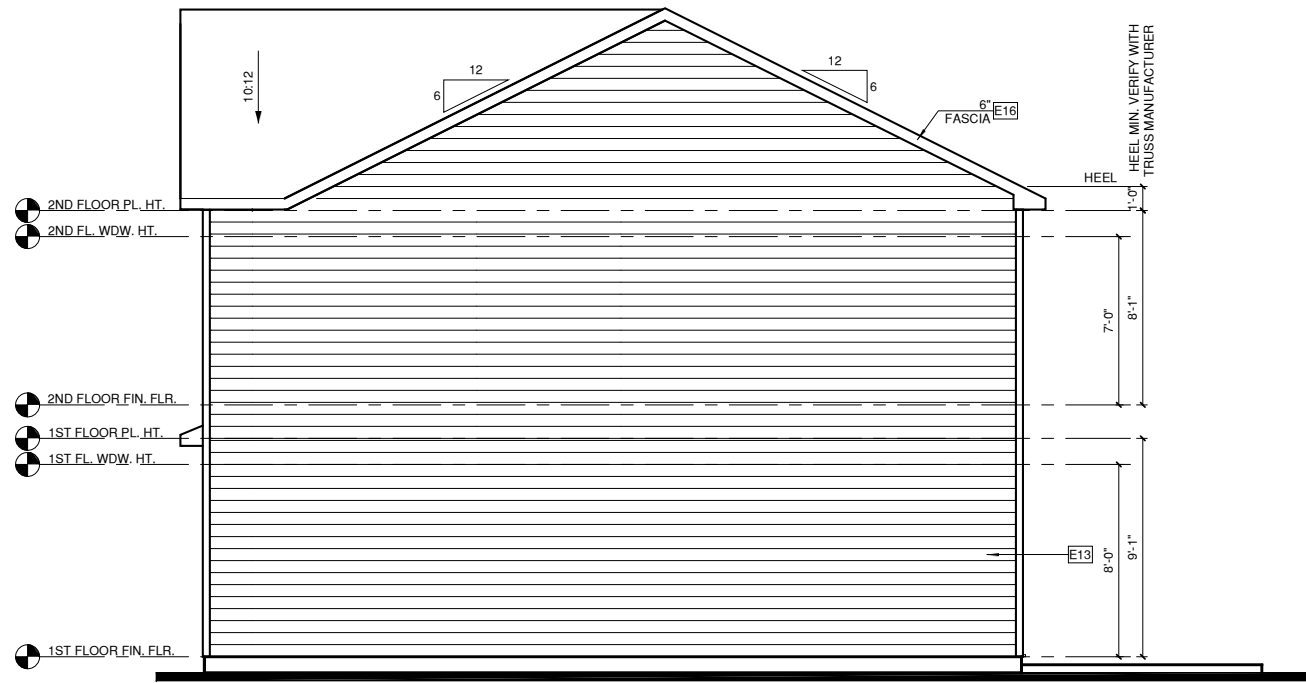
**ROOF PLAN '2'**

PRINT DATE:

02.12.18

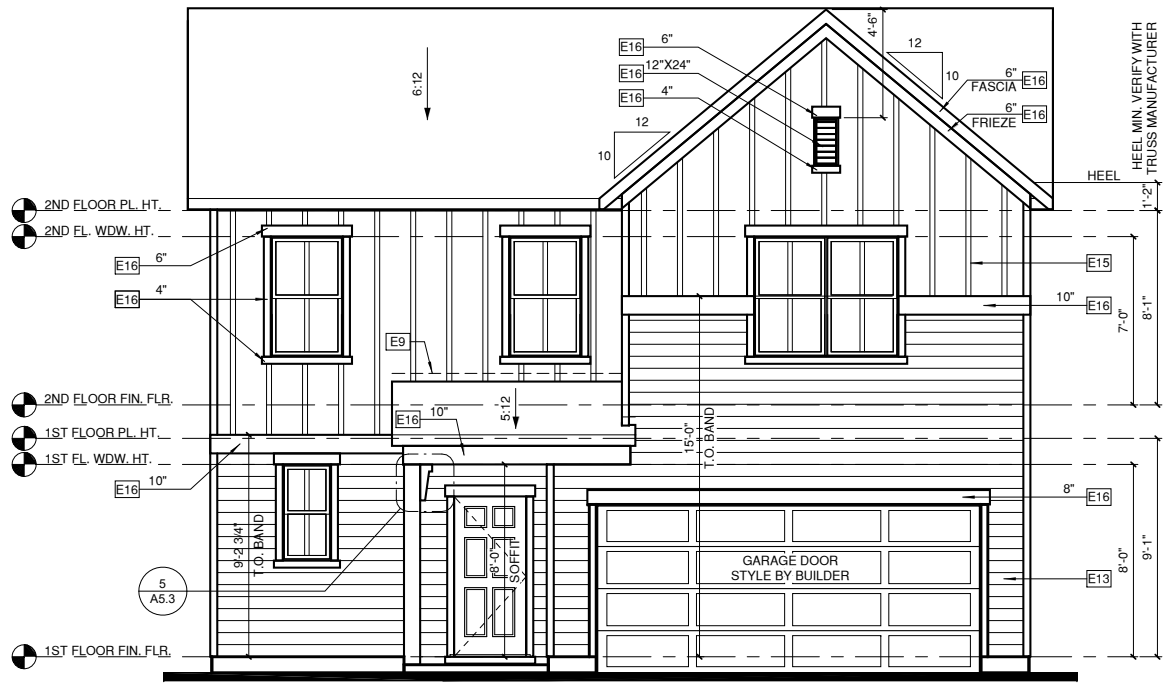
SHEET NO:

**A5.2.1**



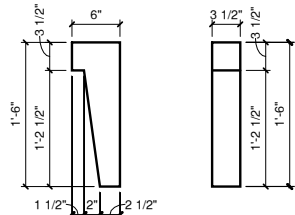
RIGHT ELEVATION '3'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



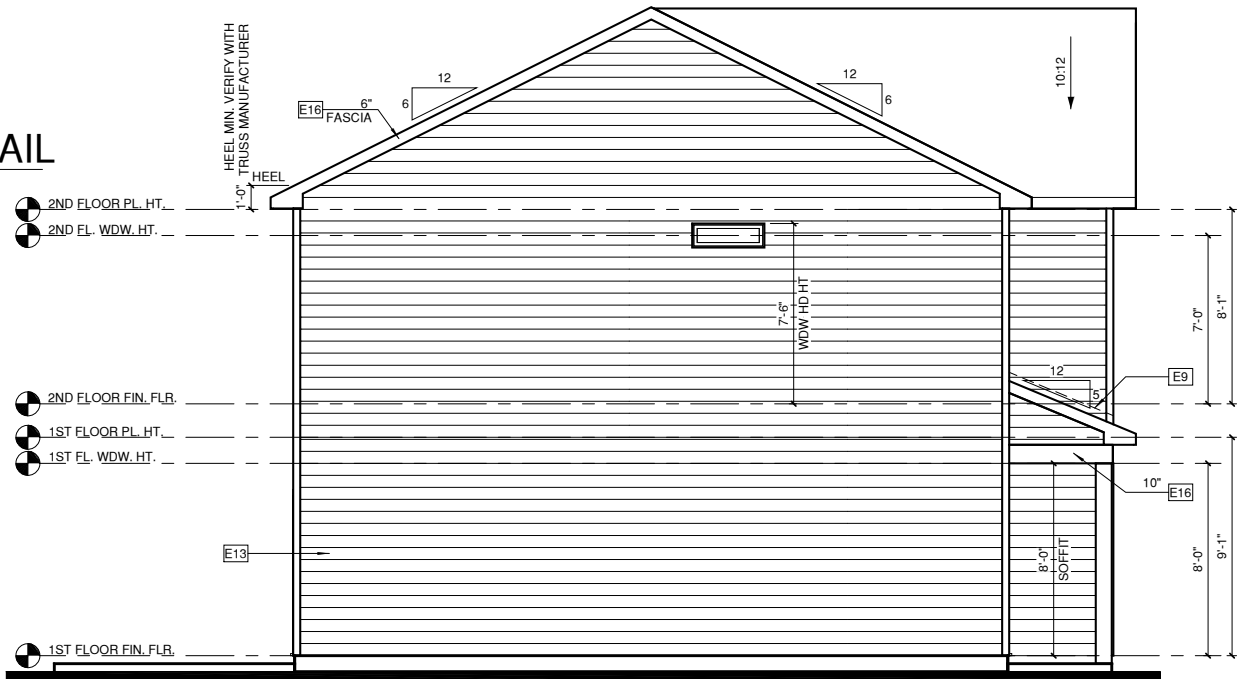
FRONT ELEVATION '3'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



COLUMN BRACKET DETAIL

1" = 1'-0" AT 22"X34" LAYOUT 1/2" = 1'-0" AT 11" X 17" LAYOUT



LEFT ELEVATION '3'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



REAR ELEVATION '3'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

NOTES:

GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

WINDOW HEAD HEIGHTS:  
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

ROOFING: PITCHED SHINGLES PER BUILDER.

WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

ENTRY DOOR: AS SELECTED BY BUILDER

CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

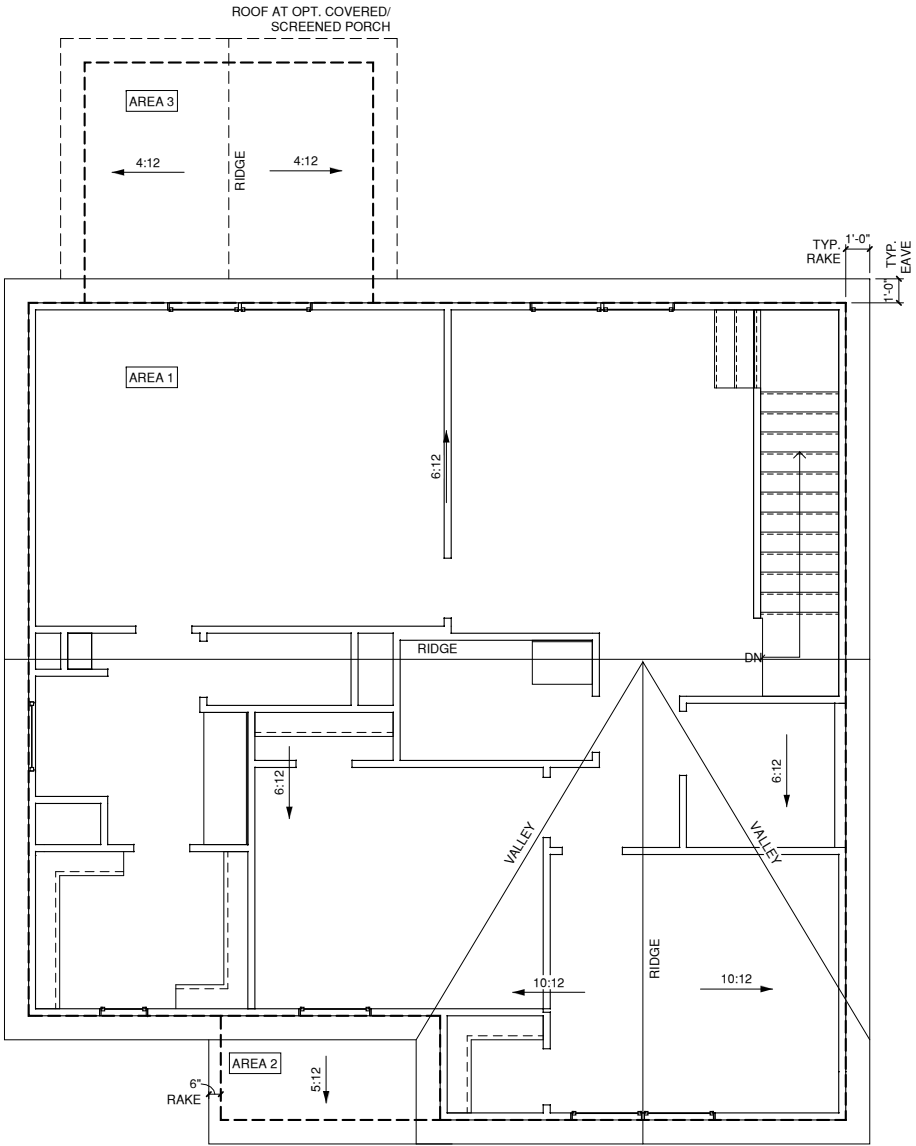
ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

ELEVATION KEYNOTE LEGEND

|     |   |
|-----|---|
| E1  | ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED  |
| E7  | FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED  |
| E9  | CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS |
| E12 | FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS   |
| E13 | FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS   |
| E15 | FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)                                  |
| E16 | 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED   |
| E17 | FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED   |
| E18 | PROVIDE GUARDRAIL PER NCRS SECTION R312   |

| 1/150 RATIO:   | 1/300 RATIO:  |
|--|---|
| <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p> | <p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING I-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p> |
| <b>NOTES:</b>  |   |
| <div><div>□ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.</div><div>□ DASHED LINES INDICATE WALL BELOW. LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.</div><div>□ PITCHED ROOFS AS NOTED.</div></div>  | <div><div>□ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.</div><div>□ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.</div></div>   |

| ROOF VENT CALC. ELEV. 'C' |         |                           |                           |
|---------------------------|---------|---------------------------|---------------------------|
| Name                      | Area    | 1/300 RATIO AT HIGH & LOW | 1/150 RATIO AT HIGH & LOW |
| AREA 1                    | 1082 SF | 259.63 in²                | 519.26 in²                |
| AREA 2                    | 40 SF   | 9.49 in²                  | 18.98 in²                 |
| AREA 3                    | 120 SF  | 28.80 in²                 | 57.60 in²                 |



1 ROOF PLAN '3'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

NORTH CAROLINA OFFICE  
102 FOUNTAIN BROOK CIRCLE  
SUITE C  
GARY, NC 27511  
PHONE: (919) 320-3022

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PROJECT TITLE:

CAMDEN -  
REVERSE

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

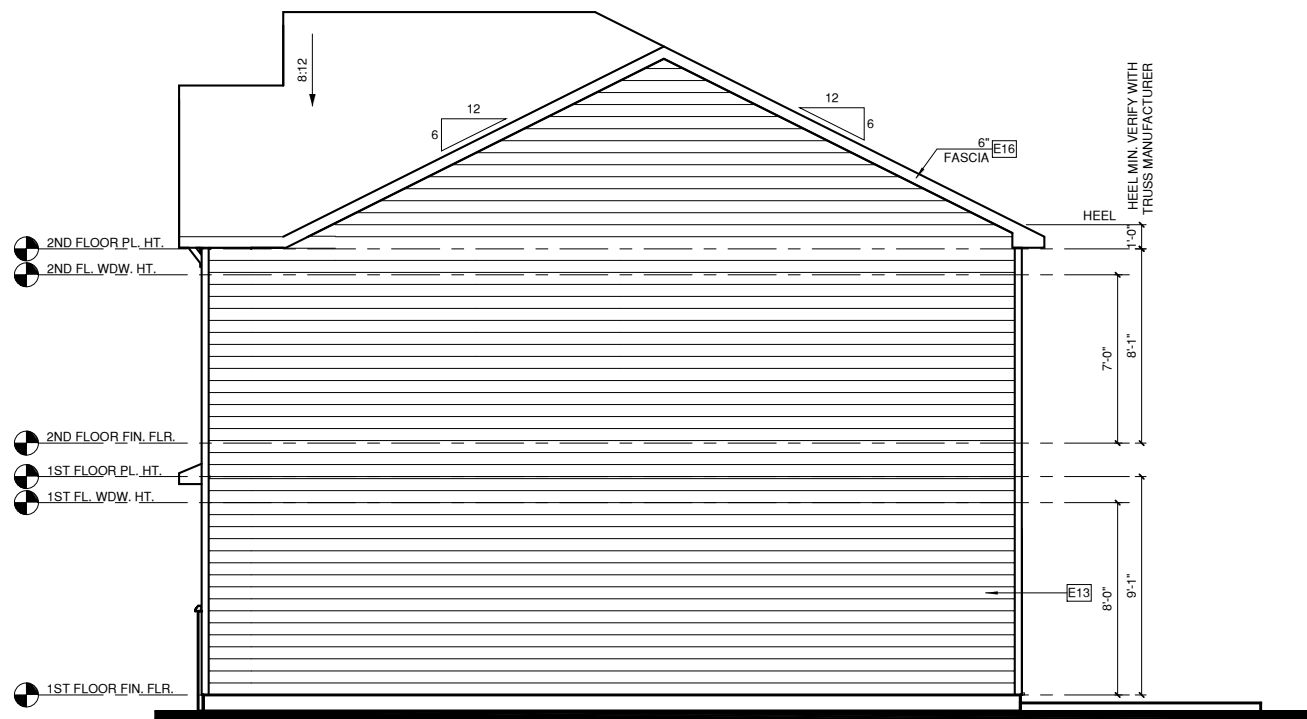
ROOF PLAN '3'

PRINT DATE:

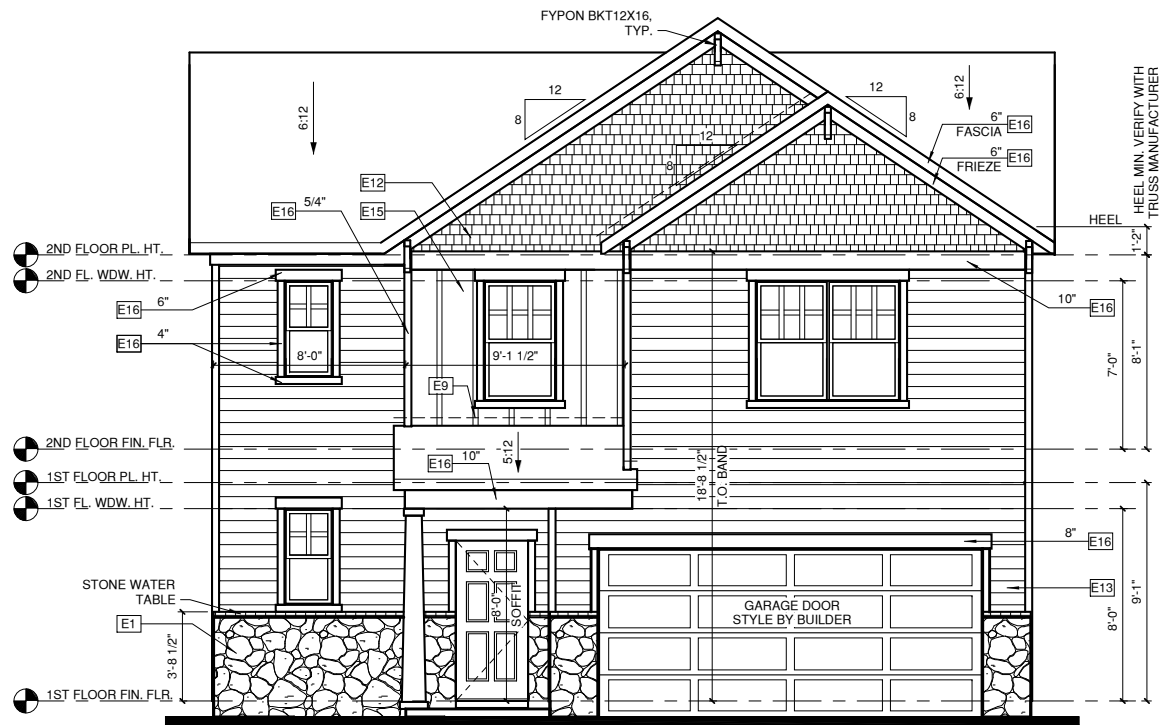
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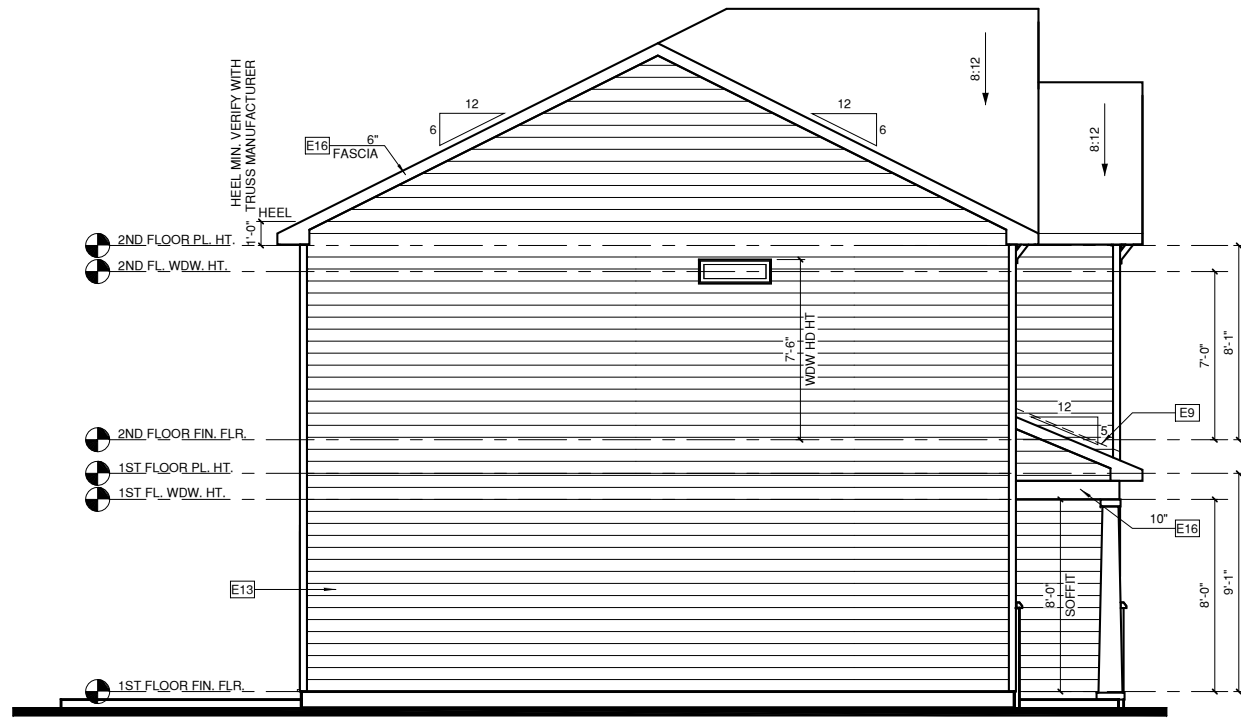
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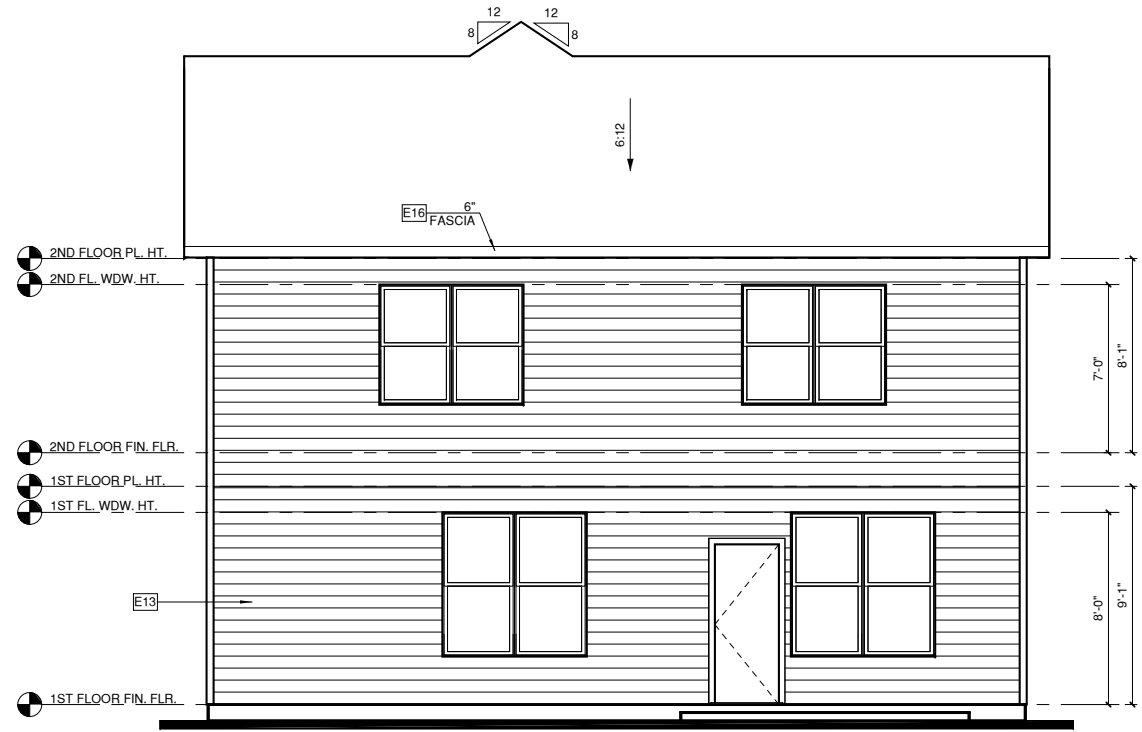
RIGHT ELEVATION '4'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



FRONT ELEVATION '4'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



LEFT ELEVATION '4'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



REAR ELEVATION '4'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

NOTES:

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

-WINDOW HEAD HEIGHTS:  
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

| ELEVATION KEYNOTE LEGEND |   |
|--------------------------|---|
| E1                       | ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED  |
| E7                       | FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED  |
| E9                       | CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS |
| E12                      | FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS   |
| E13                      | FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS   |
| E15                      | FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATTEN SIDING)                                  |
| E16                      | 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED   |
| E17                      | FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED   |
| E18                      | PROVIDE GUARDRAIL PER NCRC SECTION R312   |

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PROJECT TITLE:

CAMDEN -  
REVERSE

CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH  
HOMES

PROJECT NO:

SHEET TITLE:

ELEVATIONS '4'

PRINT DATE:

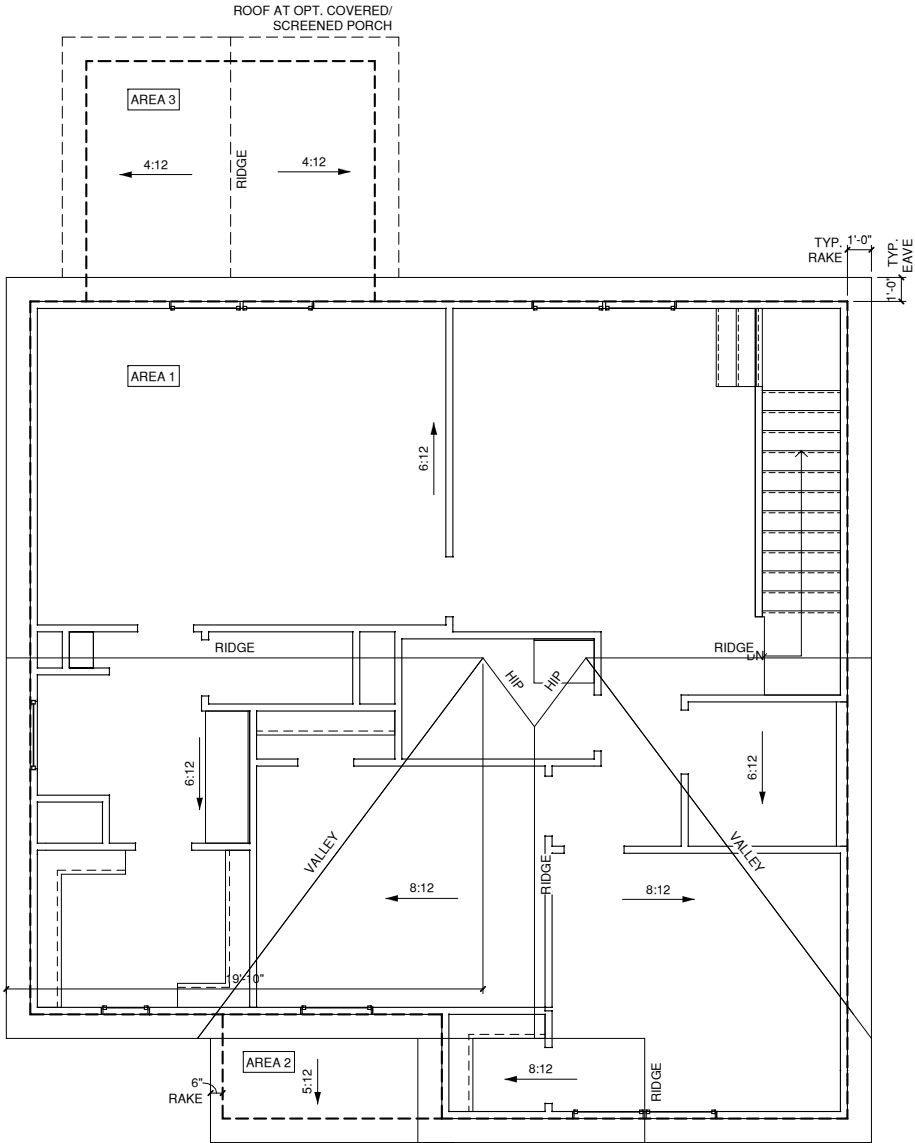
02.12.18

SHEET NO:

A5.4

| 1/150 RATIO:   | 1/300 RATIO:  |
|--|---|
| <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p> | <p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING I-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p> |
| <b>NOTES:</b>  |   |
| <div><div><div>□ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.</div><div>□ DASHED LINES INDICATE WALL BELOW.</div><div>□ LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.</div><div>□ PITCHED ROOFS AS NOTED.</div></div><div><div>□ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.</div><div>□ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.</div></div></div>  |   |

| ROOF VENT CALC. ELEV. 'D' |         |                           |                           |
|---------------------------|---------|---------------------------|---------------------------|
| Name                      | Area    | 1/300 RATIO AT HIGH & LOW | 1/150 RATIO AT HIGH & LOW |
| AREA 1                    | 1082 SF | 259.63 in²                | 519.26 in²                |
| AREA 2                    | 40 SF   | 9.49 in²                  | 18.98 in²                 |
| AREA 3                    | 120 SF  | 28.80 in²                 | 57.60 in²                 |



**1** ROOF PLAN '4'

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

| NO: | DATE: | REVISION: |
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PROJECT TITLE:

**CAMDEN -  
REVERSE**

**CONSTRUCTION SET**

CLIENTS NAME:

**QUACKENBUSH  
HOMES**

PROJECT NO:

SHEET TITLE:

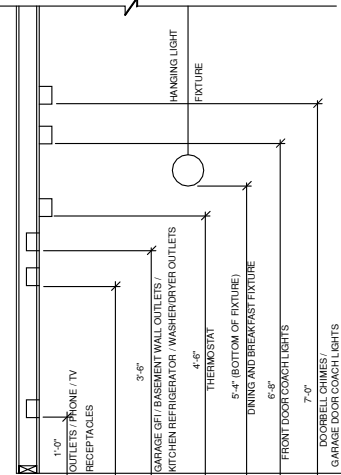
**ROOF PLAN '4'**

PRINT DATE:

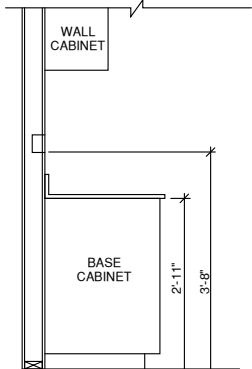
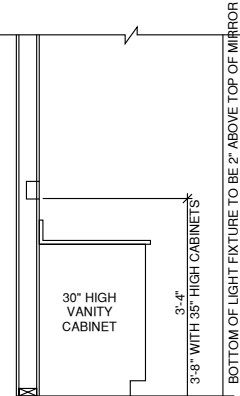
02.12.18

SHEET NO:

**A5.4.1**



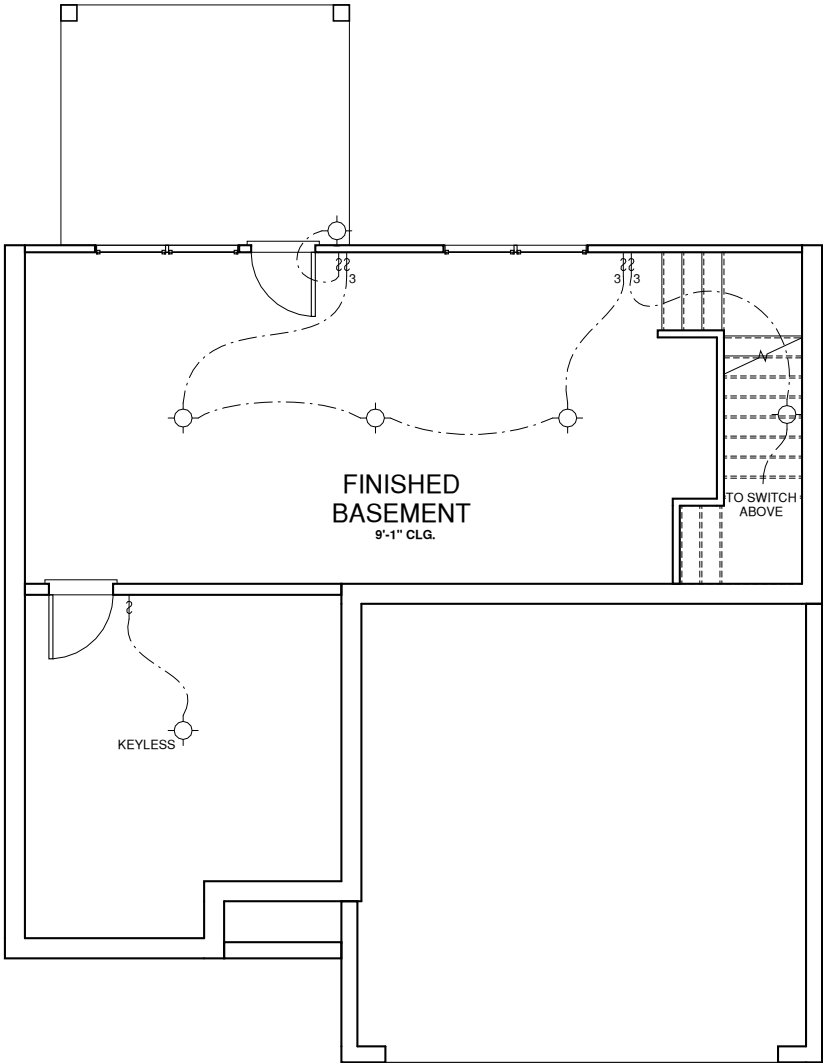
STANDARD ELECTRICAL BOX HEIGHTS



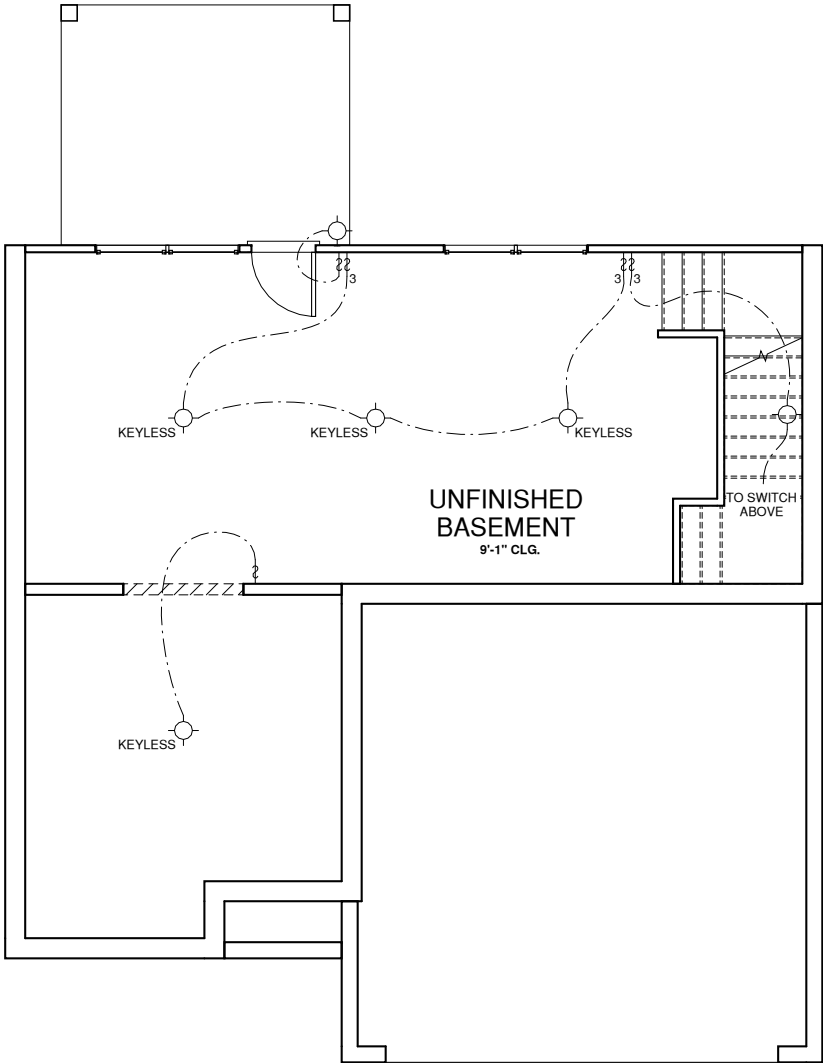
SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS

SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

| NOTES:  |  |
|---|--|
| -PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.  |  |
| -PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.                                   |  |
| -ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS  |  |
| -FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABLED "SUITABLE FOR WET OR DAMP LOCATIONS."   |  |
| -ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.                          |  |
| -PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.        |  |
| -PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.                                 |  |
| -ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.   |  |
| -HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.  |  |
| -ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAINING TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATOIN DUE TO FIELD CONDITIONS. |  |
| -PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.  |  |
| LEGEND:   |  |
| DUPLEX OUTLET   | CEILING MOUNTED INCANDESCENT LIGHT FIXTURE                             |
| WEATHERPROOF GFI DUPLEX OUTLET  | WALL MOUNTED INCANDESCENT LIGHT FIXTURE                                |
| GFI   | RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF                 |
| HALF-SWITCHED DUPLEX OUTLET   | EXHAUST FAN (VENT TO EXTERIOR)   |
| 220V 220 VOLT OUTLET  | EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)                       |
| REINFORCED JUNCTION BOX   | FLUORESCENT LIGHT FIXTURE  |
| WALL SWITCH   | TECH HUB SYSTEM  |
| THREE-WAY SWITCH  | CEILING FAN (PROVIDE ADEQUATE SUPPORT)                                 |
| FOUR-WAY SWITCH   | CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT) |
| CHIMES  | GAS SUPPLY WITH VALVE  |
| PUSHBUTTON SWITCH   | HOSE BIBB  |
| 110V SMOKE DETECTOR W/ BATTERY BACKUP   |  |



2 FINISHED BASEMENT PLAN '1'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



1 UNFINISHED BASEMENT PLAN '1'  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

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PROJECT TITLE:

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CONSTRUCTION SET

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

SHEET TITLE:

BASEMENT UTILITY PLAN

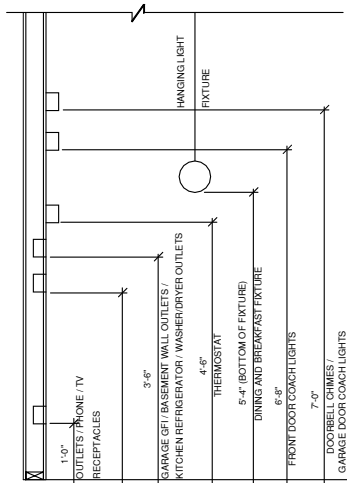
PRINT DATE:

02.12.18

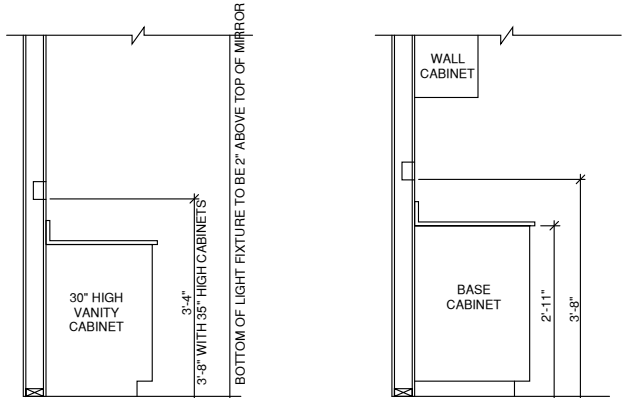
SHEET NO:

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STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS

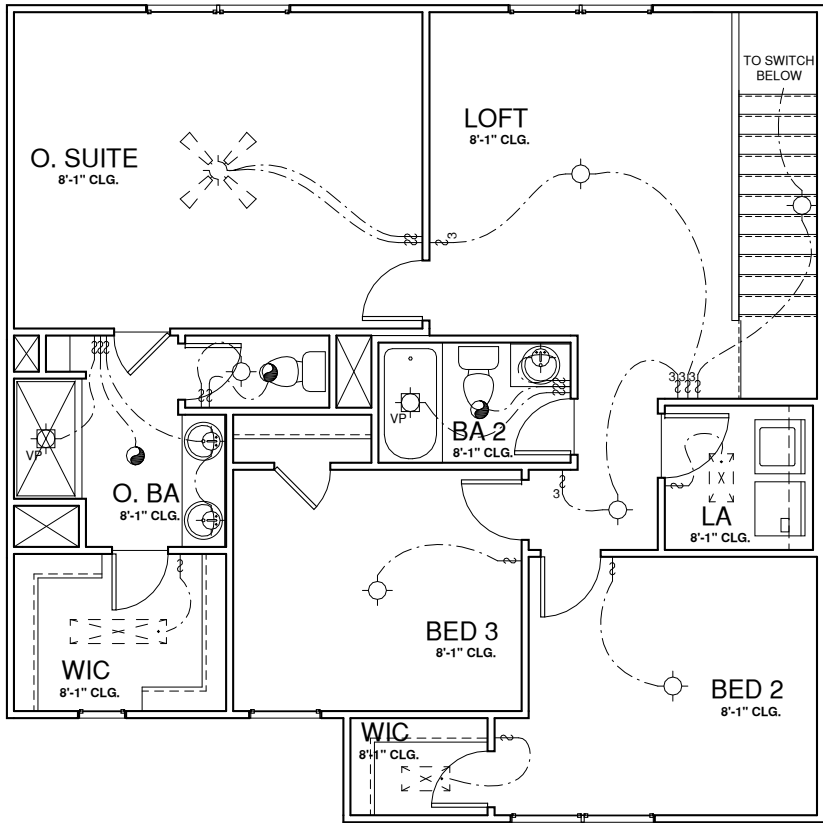
SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS

NOTES:

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS
- FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAINING TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATOIN DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

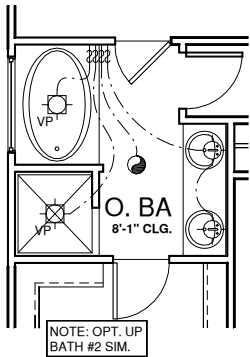
LEGEND:

|  |  |  |  |
|--|--|--|--|
|  | DUPLEX OUTLET                                  |  | CEILING MOUNTED INCANDESCENT LIGHT FIXTURE                             |
|  | WEATHERPROOF GFI DUPLEX OUTLET                 |  | WALL MOUNTED INCANDESCENT LIGHT FIXTURE                                |
|  | GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET |  | RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF                 |
|  | HALF-SWITCHED DUPLEX OUTLET                    |  | EXHAUST FAN (VENT TO EXTERIOR)   |
|  | 220 VOLT OUTLET                                |  | EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)                       |
|  | REINFORCED JUNCTION BOX                        |  | FLUORESCENT LIGHT FIXTURE  |
|  | WALL SWITCH                                    |  | TECH HUB SYSTEM  |
|  | THREE-WAY SWITCH                               |  | CEILING FAN (PROVIDE ADEQUATE SUPPORT)                                 |
|  | FOUR-WAY SWITCH                                |  | CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT) |
|  | CHIMES   |  | GAS SUPPLY WITH VALVE  |
|  | PUSHBUTTON SWITCH                              |  | HOSE BIBB  |
|  | 110V SMOKE DETECTOR W/ BATTERY BACKUP          |  | 1/4" WATER STUB OUT  |
|  | CO2 DETECTOR                                   |  | WALL SCONCE  |
|  | THERMOSTAT                                     |  |  |
|  | TELEPHONE                                      |  |  |
|  | TELEVISION                                     |  |  |
|  | ELECTRIC METER                                 |  |  |
|  | ELECTRIC PANEL                                 |  |  |
|  | DISCONNECT SWITCH                              |  |  |



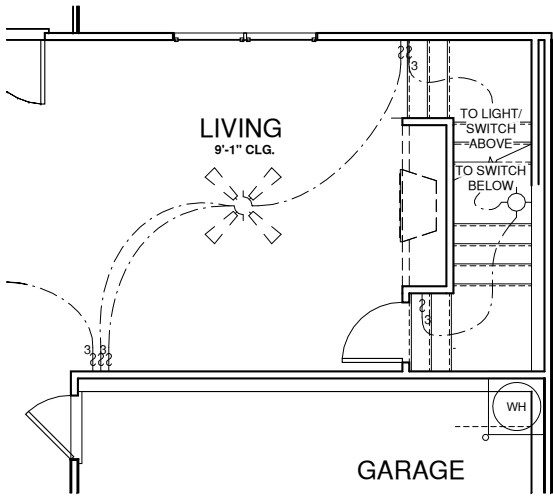
2 SECOND FLOOR PLAN ELEV '1'

1/4" = 1'-0" AT 22"x34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



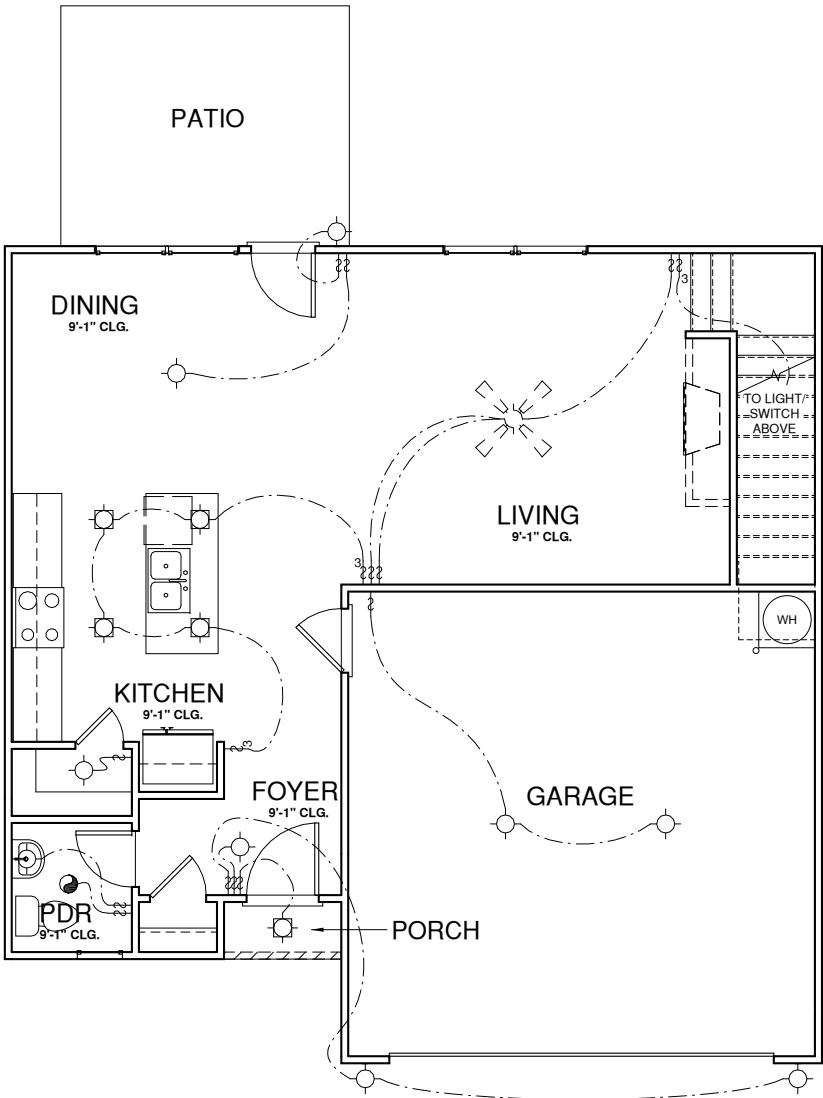
5 OPT . UP BATH #1

1/4" = 1'-0" AT 22"x34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



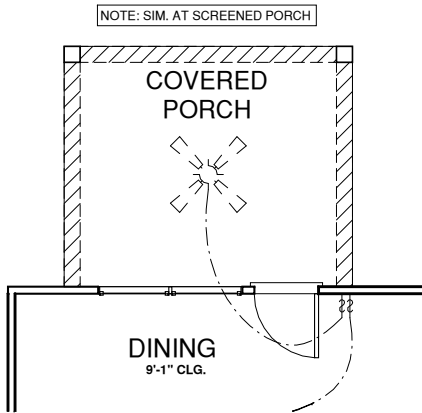
4 OPT. BASEMENT STAIR

1/4" = 1'-0" AT 22"x34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



1 FIRST FLOOR PLAN ELEV '1'

1/4" = 1'-0" AT 22"x34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



3 UTILITY PLAN OPT. COVERED PORCH

1/4" = 1'-0" AT 22"x34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

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PROJECT TITLE:

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QUACKENBUSH HOMES

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SHEET TITLE:

FIRST AND SECOND FLOOR UTILITY PLANS

PRINT DATE:

02.12.18

SHEET NO:

E1.0