

Area Schedule (Elevation 1)		Area Schedule (Elevation 2)		Area Schedule (Elevation 3)		Area Schedule (Elevation 4)	
Name	Area	Name	Area	Name	Area	Name	Area
Heated		Heated		Heated		Heated	
1st Floor	1383 SF	1st Floor	1383 SF	1st Floor	1383 SF	1st Floor	1383 SF
	1383 SF		1383 SF		1383 SF		1383 SF
Unheated		Unheated		Unheated		Unheated	
Front Porch	25 SF	Front Porch	65 SF	Front Porch	80 SF	Front Porch	110 SF
Garage	215 SF	Garage	215 SF	Garage	215 SF	Garage	215 SF
	240 SF		280 SF		295 SF		325 SF
Under Roof	1623 SF	Under Roof	1663 SF	Under Roof	1678 SF	Under Roof	1708 SF

Sheet List	
Sheet Number	Sheet Name
0	Cover Sheet
A0.1.1	Slab Penetrations
A1.1	Floor Plans - Elev 1
A1.2	Floor Plans - Elev 2
A1.3	Floor Plans - Elev 3
A1.4	Floor Plans - Elev 4
A4.1	Sections
A5.1	Elevations - Elev 1
A5.1.1	Roof Plan - Elev 1
A5.2	Elevations - Elev 2
A5.2.1	Roof Plan - Elev 2
A5.3	Elevations - Elev 3
A5.3.1	Roof Plan - Elev 3
A5.4	Elevations - Elev 4
A5.4.1	Roof Plan - Elev 4
E1.0	Utility Plans Std. Pkg.
E1.0a	Utility Plans Opt. Pkg.

MAGNOLIA

PLAN 1383



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



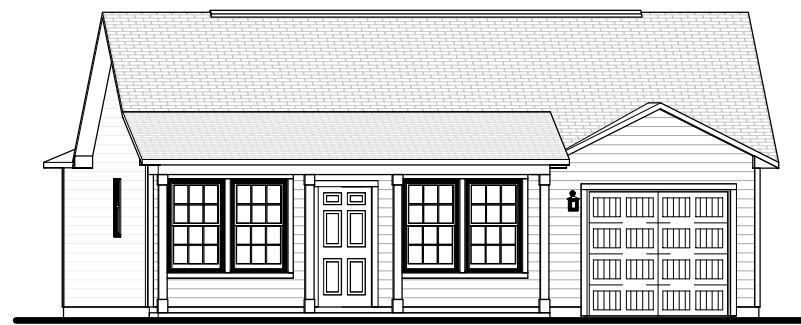
1 Elev 1



2 Elev 2



3 Elev 3



4 Elev 4

Magnolia - Master Plan Set

Cover Sheet

Lot Specific Details:

Community:

Lot #: Orientation: garage right

Address:

Structural Options:

Plan Version Date: 1-25-22

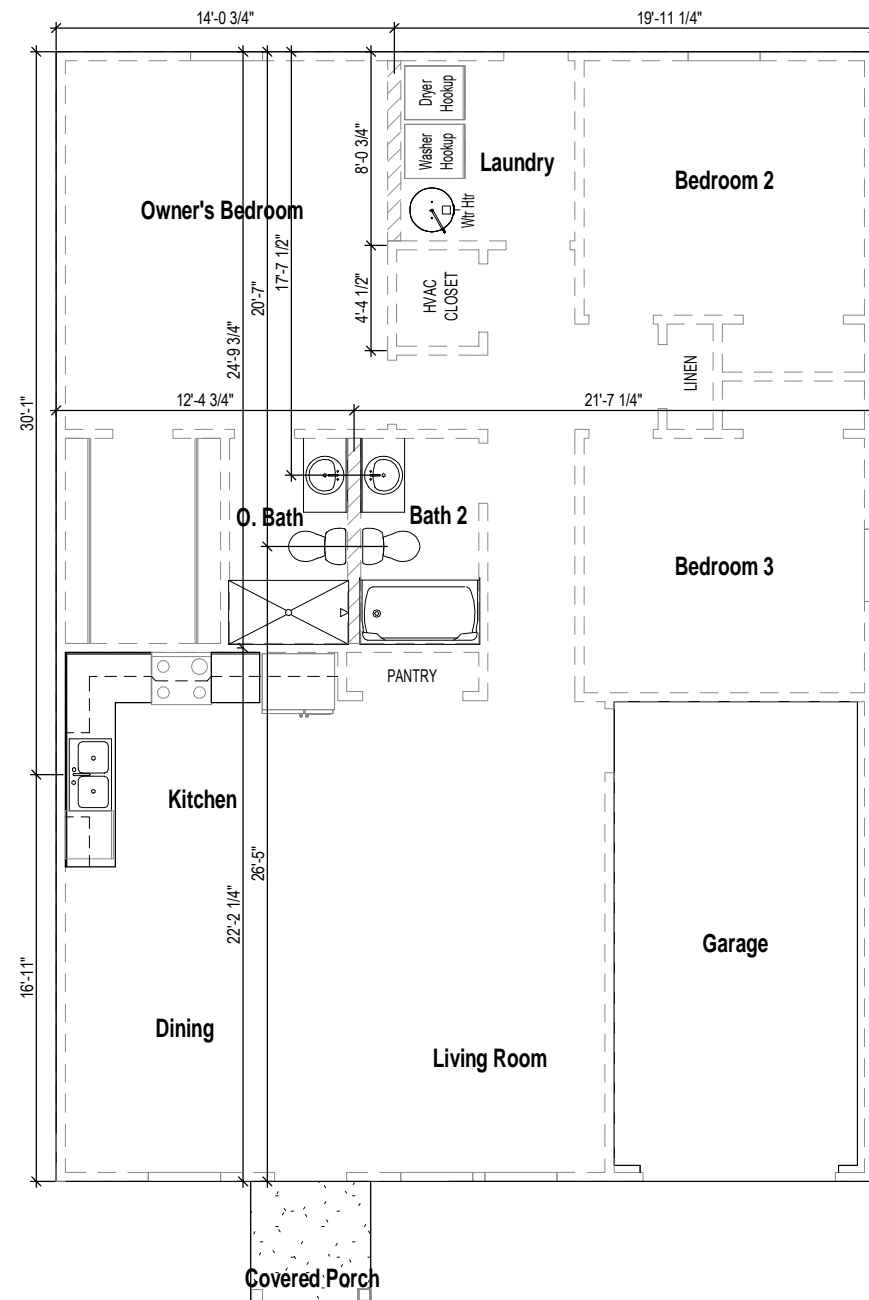
Job Version Date:

Sheet #: 0

REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



1 Slab Penetrations
1/8" = 1'-0"

Magnolia - Master Plan Set

Slab Penetrations

Lot Specific Details:

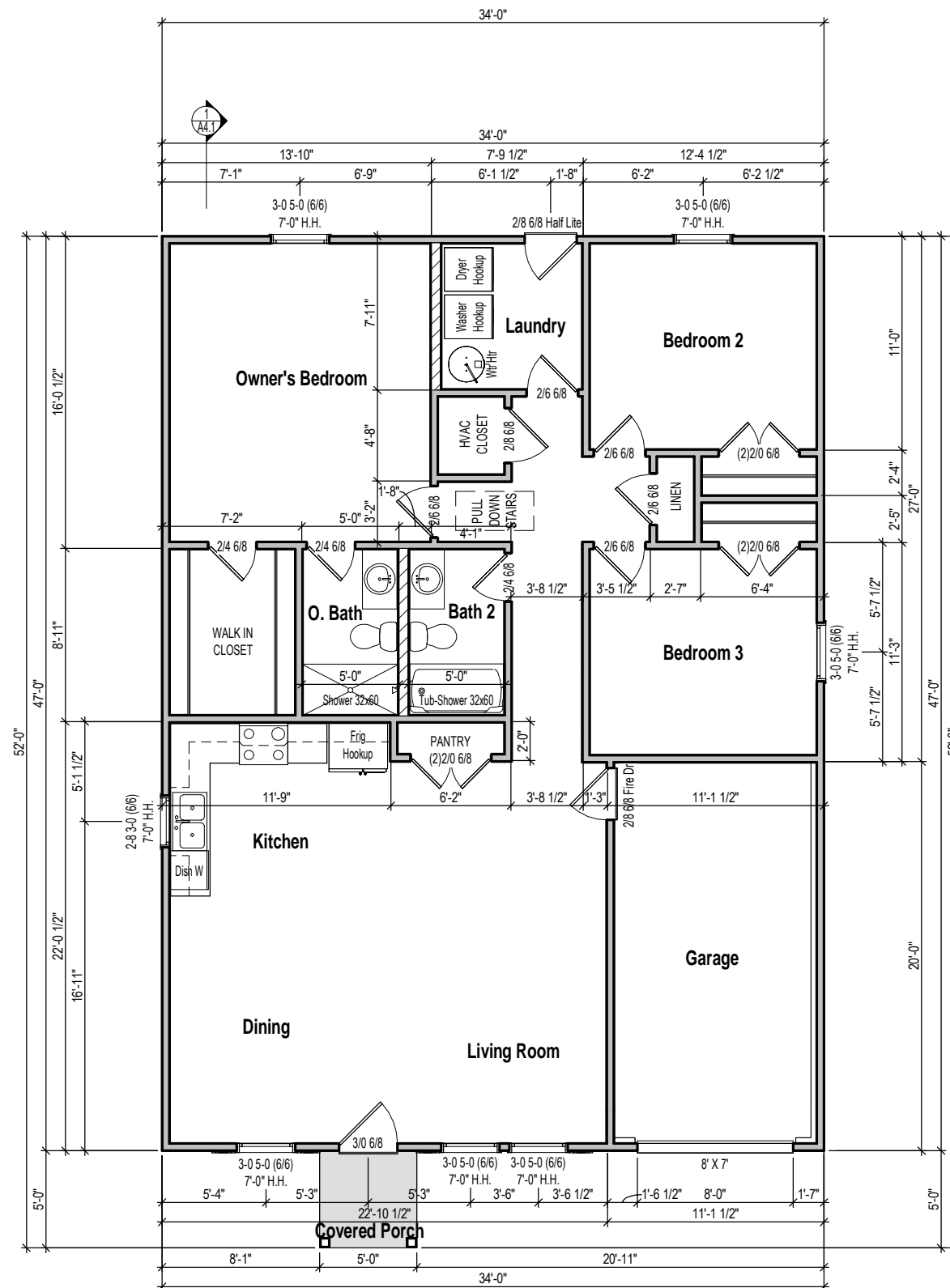
Community:
 Lot #: Orientation:
 garage right
 Address:
 Structural Options:

Plan Version Date:
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Job Version Date:

Sheet #:
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CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



1 1st Floor Plan - Elev 1
1/8" = 1'-0"

Magnolia - Master Plan Set

Floor Plans - Elev 1

Lot Specific Details:

Community:

Lot #: Orientation:
garage right

Address:

Structural Options:

Plan Version Date:
1-25-22

Job Version Date:

Sheet #:
A1.1



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Magnolia - Master Plan Set

Floor Plans - Elev 2

Lot Specific Details:

Community:

Lot #: Orientation:
garage right

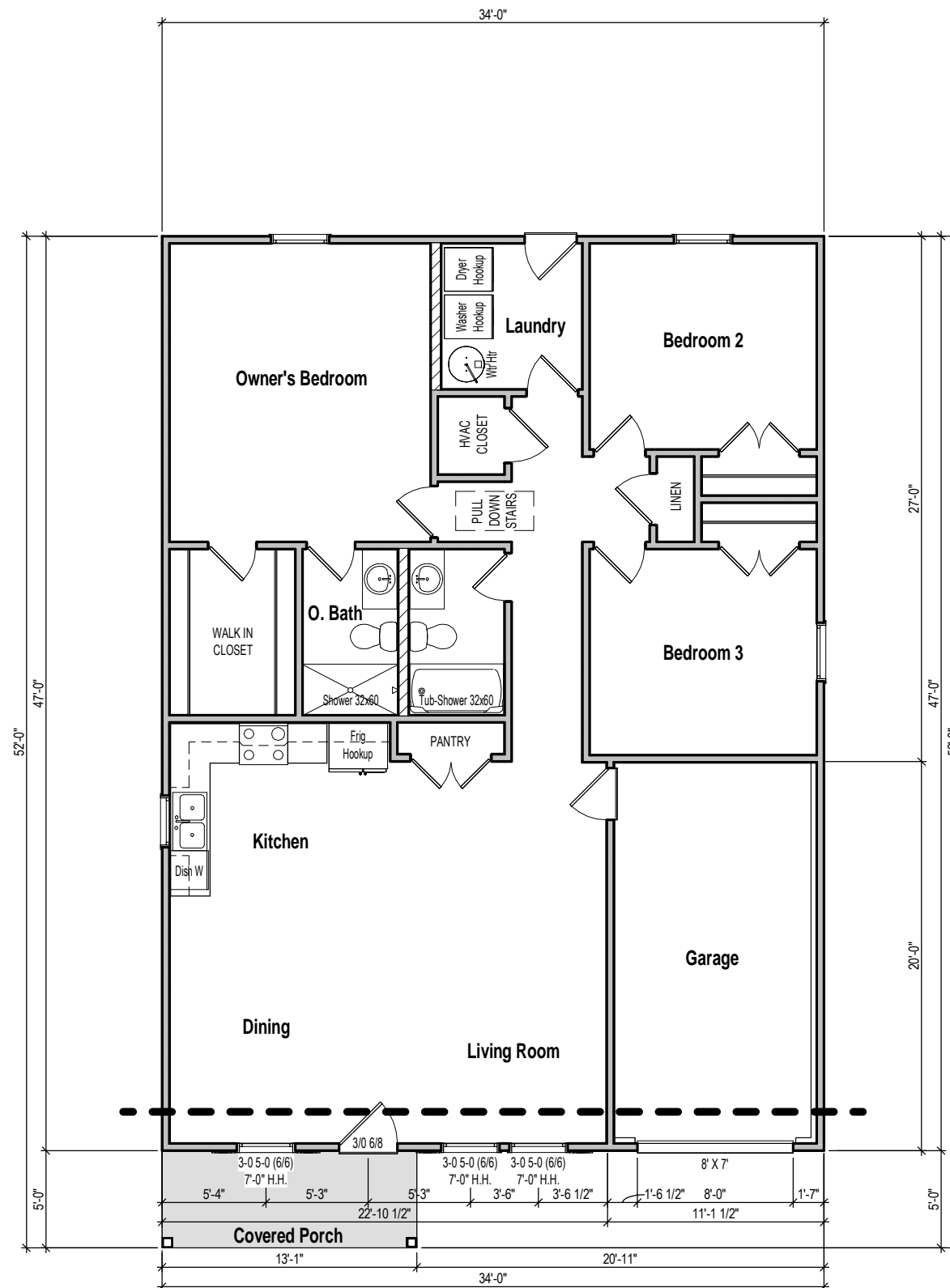
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Structural Options:

Plan Version Date:
1-25-22

Job Version Date:

Sheet #:
A1.2



1 1st Floor Plan - Elev 2
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Magnolia - Master Plan Set

Floor Plans - Elev 3

Lot Specific Details:

Community:

Lot #: Orientation:
garage right

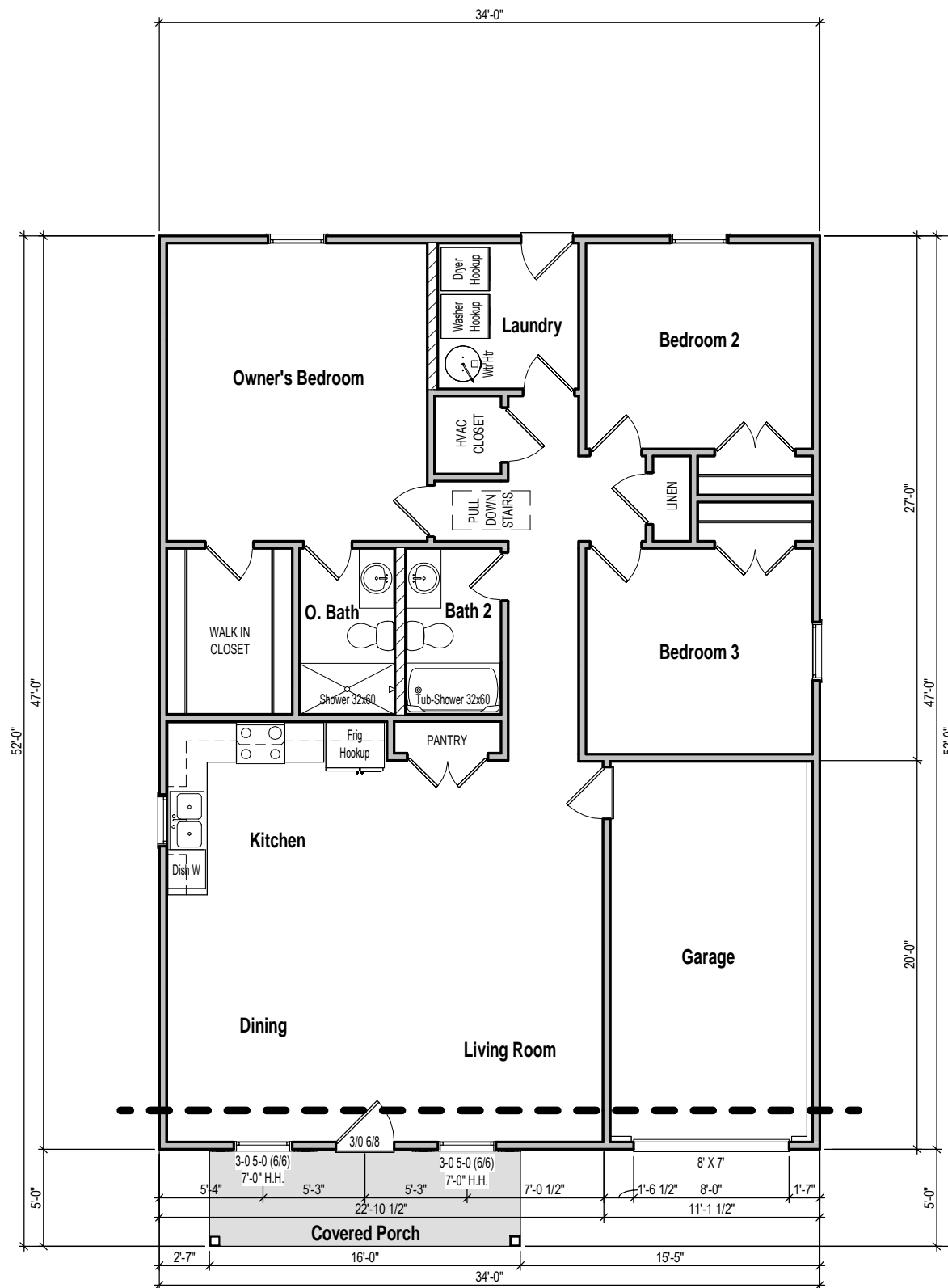
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Structural Options:

Plan Version Date:
1-25-22

Job Version Date:

Sheet #:
A1.3



1 1st Floor Plan - Elev 3
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Magnolia - Master Plan Set

Floor Plans - Elev 4

Lot Specific Details:

Community:

Lot #: Orientation:
garage right

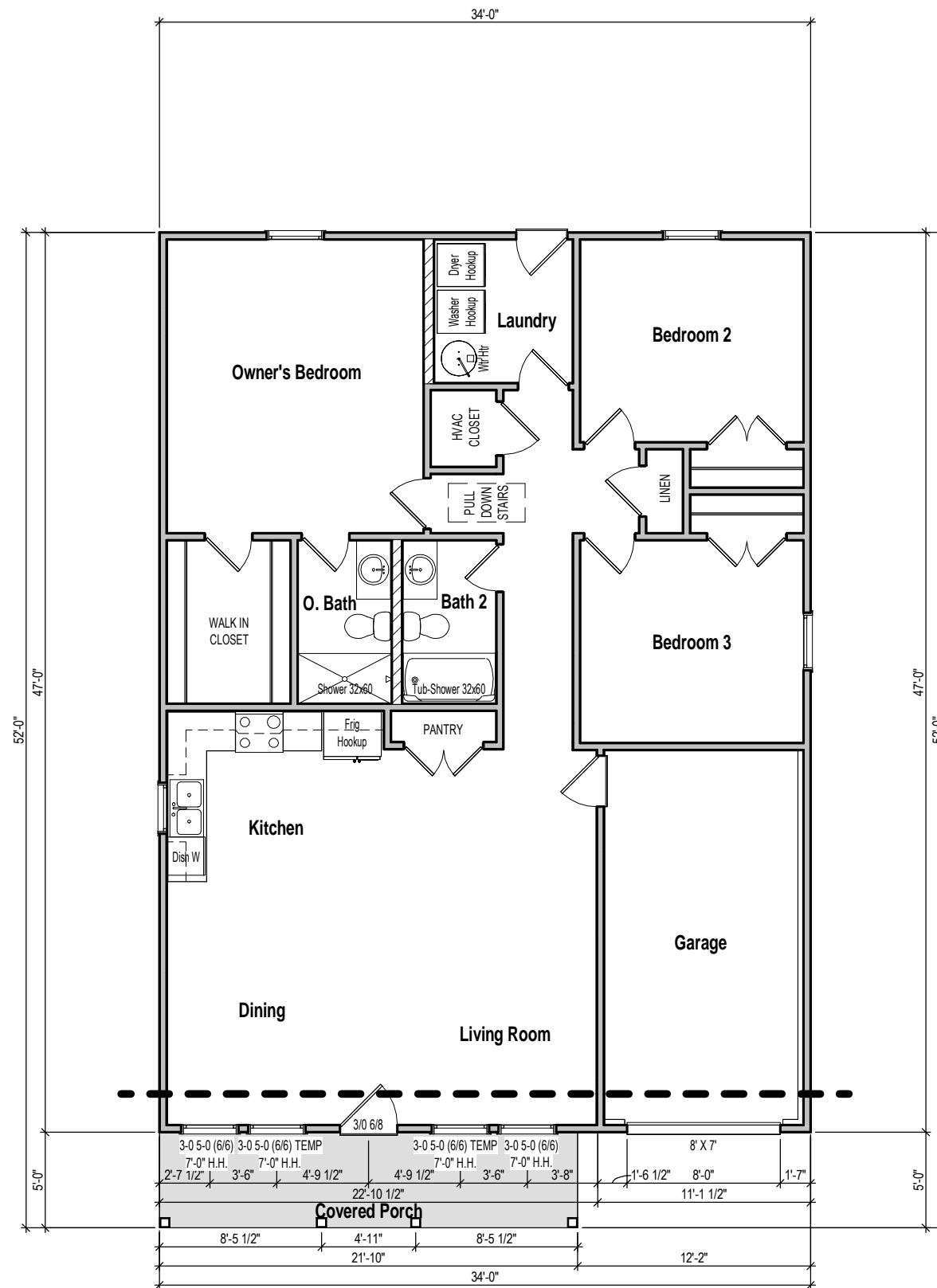
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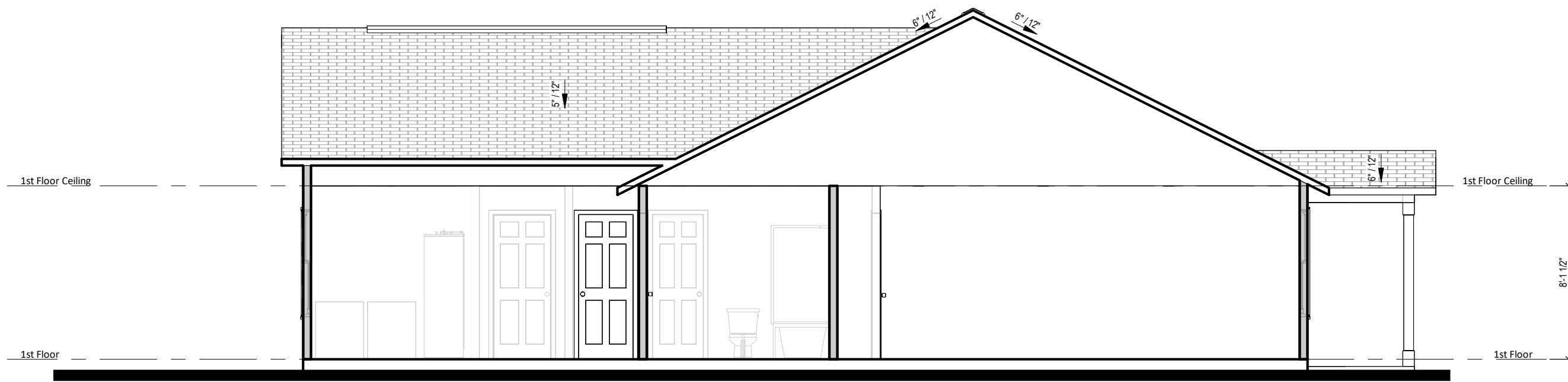
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A1.4



1 1st Floor Plan - Elev 4
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



1 Building Section
3/16" = 1'-0"

Magnolia - Master Plan Set

Sections

Lot Specific Details:

Community:

Lot #: Orientation:
 garage right

Address:

Structural Options:

Plan Version Date:
1-25-22

Job Version Date:

Sheet #:
A4.1

CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



1 Front Elevation - Elev 1
1/8" = 1'-0"



2 Rear Elevation - Elev 1
1/8" = 1'-0"



3 Left Elevation - Elev 1
1/8" = 1'-0"



4 Right Elevation - Elev 1
1/8" = 1'-0"

Magnolia - Master Plan Set

Elevations - Elev 1

Lot Specific Details:

Community:

Lot #: Orientation:
 garage right

Address:

Structural Options:

Plan Version Date:
1-25-22

Job Version Date:

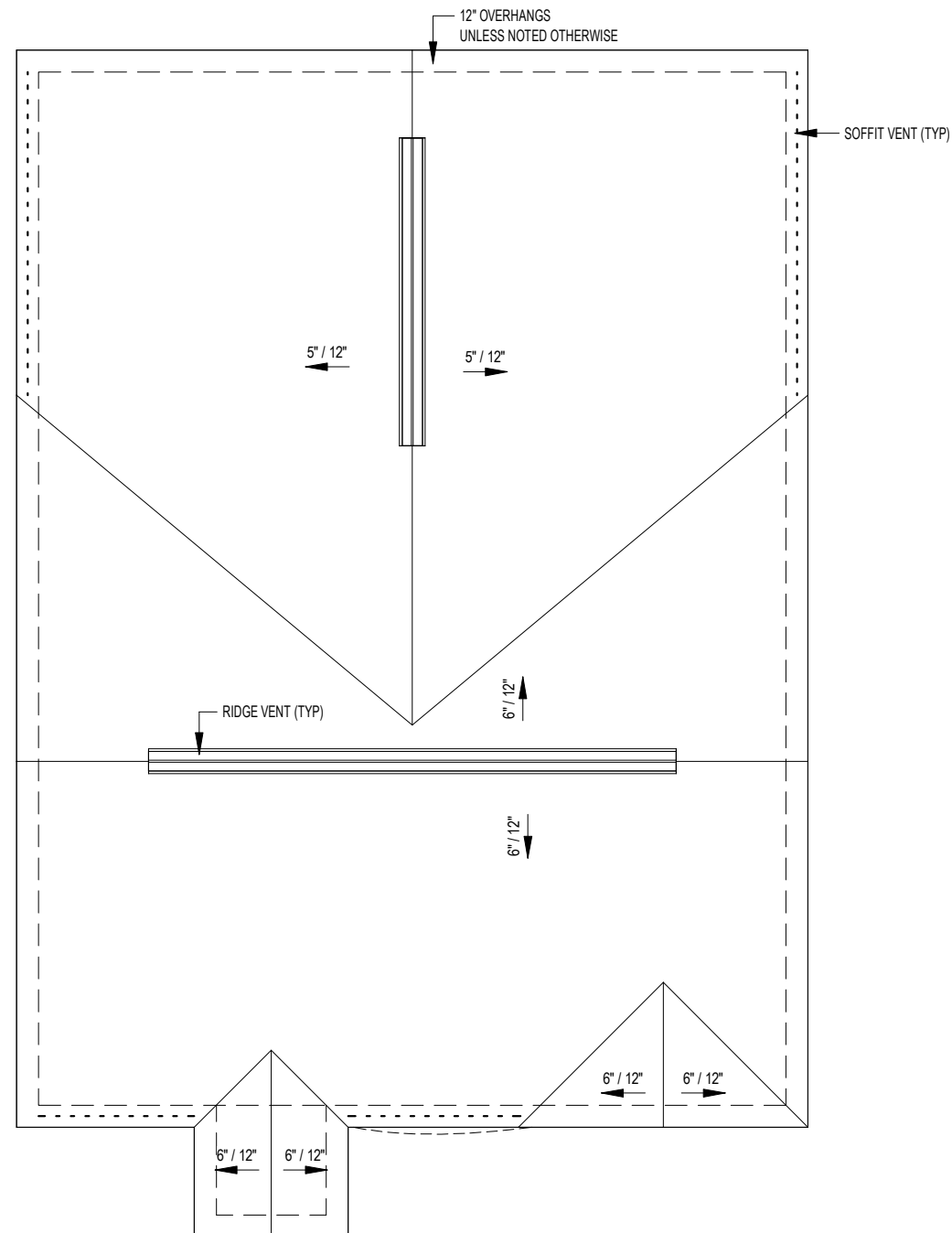
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Attic Ventilation Calcs 1/300 (sq.in.)

Name	Area	Ventilation Required (sq.in.)	Max Upper (sq.in.)	Min Upper (sq.in.)	Upper Ventilation (sq.in.)	Lower Ventilation (sq.in.)	Total Ventilation (sq.in.)	Ridge Vent (ln.ft.)	Roof Vents (ea)	Soffit Vents (sq.ft.)
Main Roof	1598 SF	767	614	384	570	216	786	38	0	36

CALCS BASED ON THE FOLLOWING VALUES

- Ridge Vents = 15 in² of net free area per linear foot
- Roof Vents = 50 in² of net free area per unit
- Soffit Vents = 6 in² of net free area per square foot



① Roof Plan - Elev 1
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Magnolia - Master Plan Set

Roof Plan - Elev 1

Lot Specific Details:

Community:

Lot #: Orientation:
 garage right

Address:

Structural Options:

Plan Version Date:
1-25-22

Job Version Date:

Sheet #:
A5.1.1

CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



① Front Elevation - Elev 2
1/8" = 1'-0"



② Rear Elevation - Elev 2
1/8" = 1'-0"



③ Left Elevation - Elev 2
1/8" = 1'-0"



④ Right Elevation - Elev 2
1/8" = 1'-0"

Magnolia - Master Plan Set

Elevations - Elev 2

Lot Specific Details:

Community:

Lot #: Orientation:
garage right

Address:

Structural Options:

Plan Version Date:
1-25-22

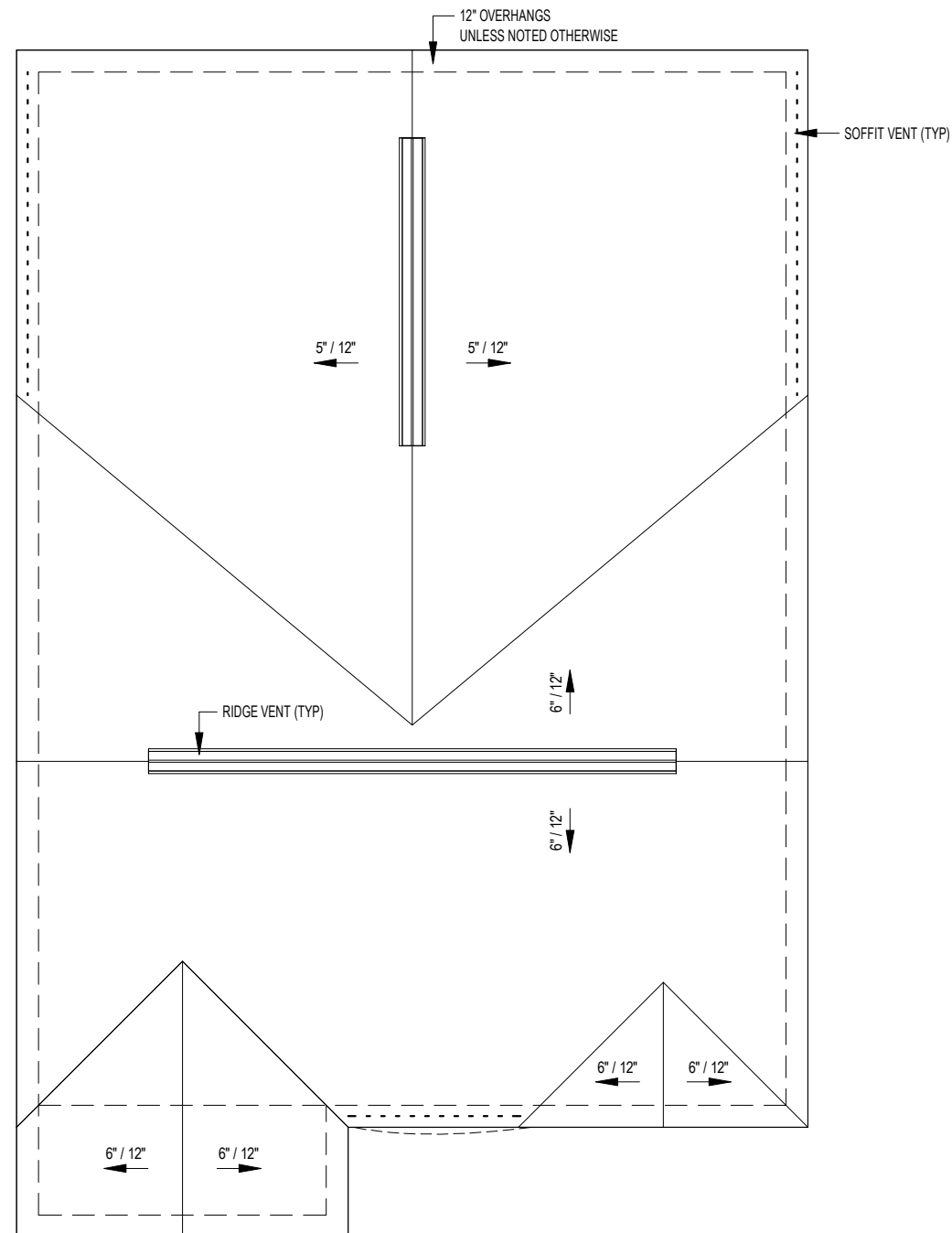
Job Version Date:

Attic Ventilation Calcs 1/300 (sq.in.)

Name	Area	Ventilation Required (sq.in.)	Max Upper (sq.in.)	Min Upper (sq.in.)	Upper Ventilation (sq.in.)	Lower Ventilation (sq.in.)	Total Ventilation (sq.in.)	Ridge Vent (ln.ft.)	Roof Vents (ea)	Soffit Vents (sq.ft.)
Main Roof	1598 SF	767	614	384	570	216	786	38	0	36

CALCS BASED ON THE FOLLOWING VALUES

- Ridge Vents = 15 in² of net free area per linear foot
- Roof Vents = 50 in² of net free area per unit
- Soffit Vents = 6 in² of net free area per square foot



① Roof Plan - Elev 2
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Magnolia - Master Plan Set

Roof Plan - Elev 2

Lot Specific Details:

Community:

Lot #: Orientation:
 garage right

Address:

Structural Options:

Plan Version Date:
1-25-22

Job Version Date:

Sheet #:
A5.2.1



① Front Elevation - Elev 3
1/8" = 1'-0"



② Rear Elevation - Elev 3
1/8" = 1'-0"



③ Left Elevation - Elev 3
1/8" = 1'-0"



④ Right Elevation - Elev 3
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Magnolia - Master Plan Set

Elevations - Elev 3

Lot Specific Details:

Community:

Lot #: Orientation:
 garage right

Address:

Structural Options:

Plan Version Date:
1-25-22

Job Version Date:

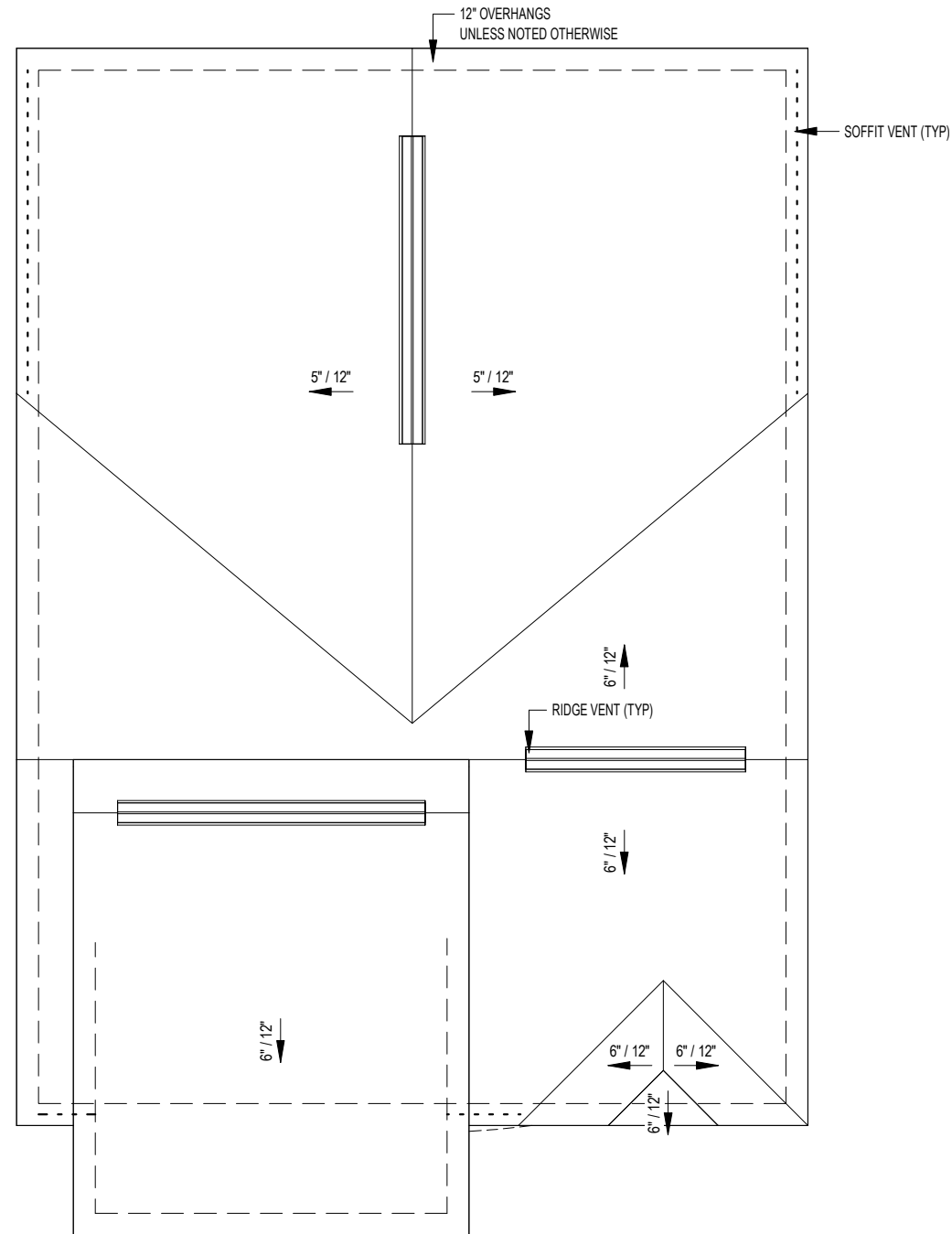
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Attic Ventilation Calcs 1/300 (sq.in.)

Name	Area	Ventilation Required (sq.in.)	Max Upper (sq.in.)	Min Upper (sq.in.)	Upper Ventilation (sq.in.)	Lower Ventilation (sq.in.)	Total Ventilation (sq.in.)	Ridge Vent (ln.ft.)	Roof Vents (ea)	Soffit Vents (sq.ft.)
Main Roof	1598 SF	767	614	384	570	216	786	38	0	36

CALCS BASED ON THE FOLLOWING VALUES

- Ridge Vents = 15 in² of net free area per linear foot
- Roof Vents = 50 in² of net free area per unit
- Soffit Vents = 6 in² of net free area per square foot



① Roof Plan - Elev 3
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Magnolia - Master Plan Set

Roof Plan - Elev 3

Lot Specific Details:

Community:

Lot #: Orientation:
 garage right

Address:

Structural Options:

Plan Version Date:
1-25-22

Job Version Date:

Sheet #:
A5.3.1

CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.



① Front Elevation - Elev 4
1/8" = 1'-0"



② Rear Elevation - Elev 4
1/8" = 1'-0"



③ Left Elevation - Elev 4
1/8" = 1'-0"



④ Right Elevation - Elev 4
1/8" = 1'-0"

Magnolia - Master Plan Set

Elevations - Elev 4

Lot Specific Details:

Community:

Lot #: Orientation:
 garage right

Address:

Structural Options:

Plan Version Date:
1-25-22

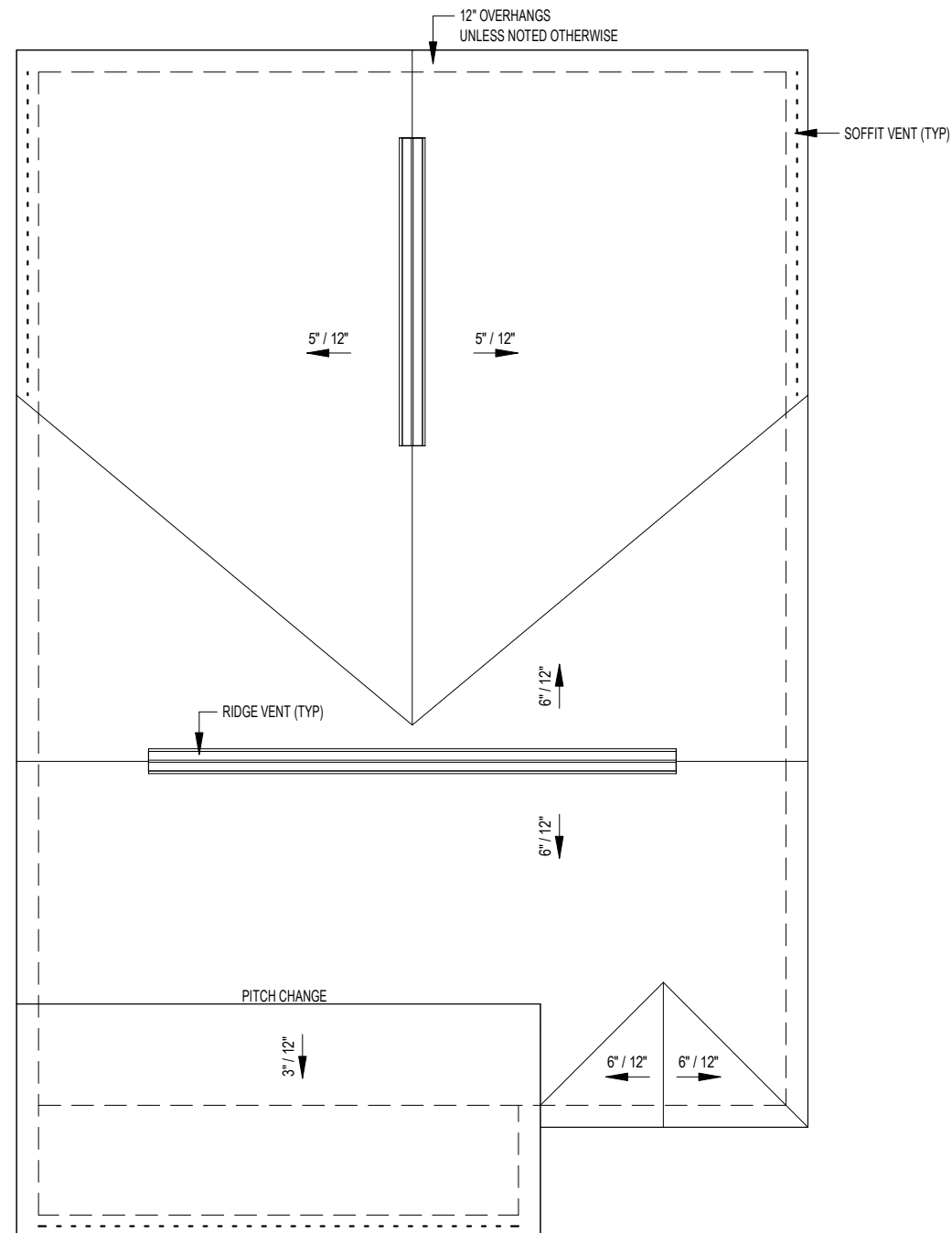
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Attic Ventilation Calcs 1/300 (sq.in.)

Name	Area	Ventilation Required (sq.in.)	Max Upper (sq.in.)	Min Upper (sq.in.)	Upper Ventilation (sq.in.)	Lower Ventilation (sq.in.)	Total Ventilation (sq.in.)	Ridge Vent (ln.ft.)	Roof Vents (ea)	Soffit Vents (sq.ft.)
Main Roof	1598 SF	767	614	384	570	216	786	38	0	36

CALCS BASED ON THE FOLLOWING VALUES

- Ridge Vents = 15 in² of net free area per linear foot
- Roof Vents = 50 in² of net free area per unit
- Soffit Vents = 6 in² of net free area per square foot



① Roof Plan - Elev 4
1/8" = 1'-0"



CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Magnolia - Master Plan Set

Roof Plan - Elev 4

Lot Specific Details:

Community:

Lot #: Orientation:
 garage right

Address:

Structural Options:

Plan Version Date:
1-25-22

Job Version Date:

Sheet #:
A5.4.1

CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Magnolia - Master Plan Set

Utility Plans Std. Pkg.

Lot Specific Details:

Community:

Lot #: Orientation: garage right

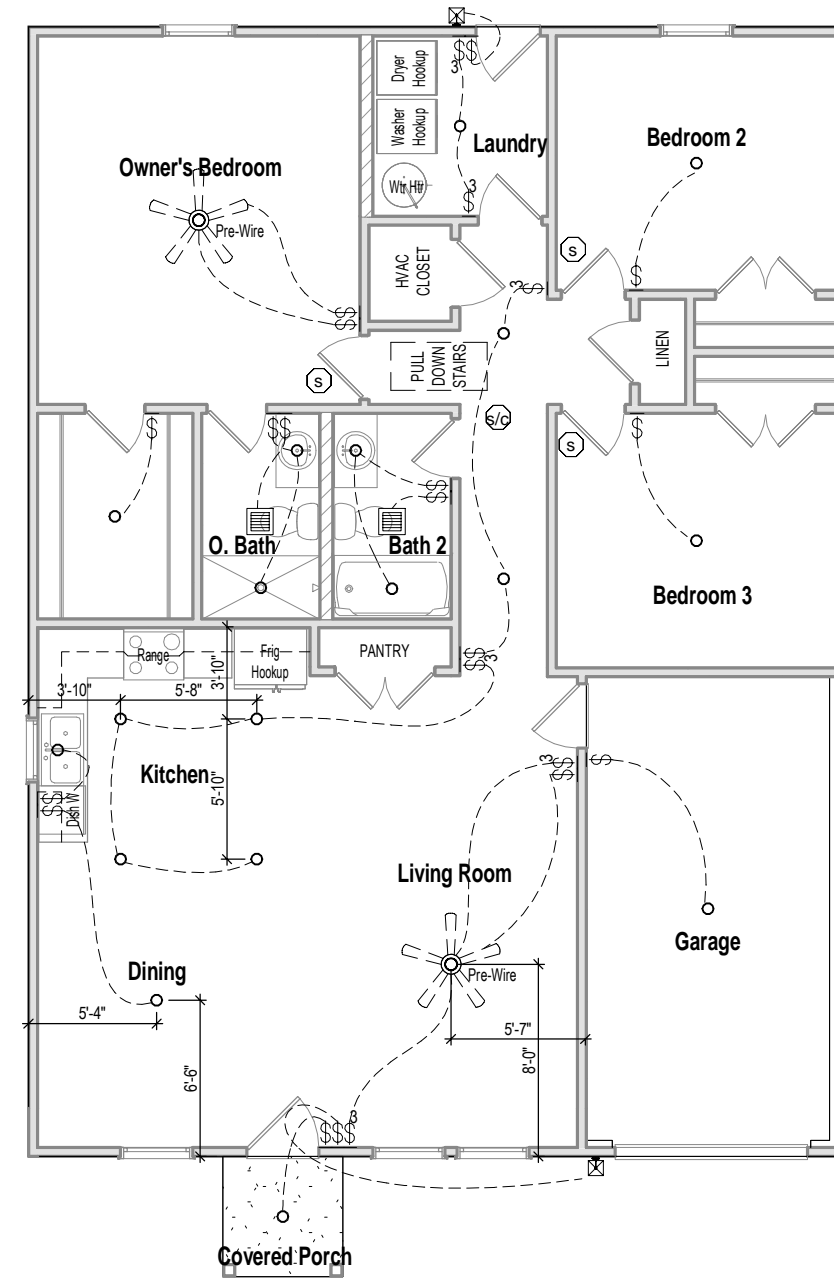
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



















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1 1st Floor Electrical Std. Pkg. (surface lights are pucks)
1/8" = 1'-0"

ELECTRICAL LEGEND

WALL MOUNTED FIXTURES		CEILING MOUNTED FIXTURES		
 OUTLET - 110V	 OUTLET - TV	 WALL LIGHT	 GARAGE DOOR OPENER PREWIRE	 SMOKE DETECTOR
 OUTLET - 110V GROUND FAULT INTERRUPTER	 OUTLET - PHONE	 18" LIGHT BAR	 FLUSH MOUNT	 SMOKE DETECTOR/CO2
 OUTLET - 110V GROUND FAULT INTERRUPTER WATER PROOF	 SWITCH - SINGLE POLE	 COACH LIGHT - FRONT DOOR	 SURFACE CAN LIGHT	 BATHROOM EXHAUST FAN
 OUTLET - 220V	 SWITCH - 3 WAY	 COACH LIGHT - REAR DOOR	 FLUSH MOUNT W-FAN PREWIRE	 FLUORESCENT 1'X4'2 LAMPS
	 SWITCH - 4 WAY			

CONTRACTOR AND BUILDER SHALL REVIEW PLAN TO VERIFY LOT SPECIFIC DETAILS AND CONFORMANCE WITH CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH LOT SPECIFIC DETAILS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

Magnolia - Master Plan Set

Utility Plans Opt. Pkg.

Lot Specific Details:

Community:

Lot #: Orientation:
garage right

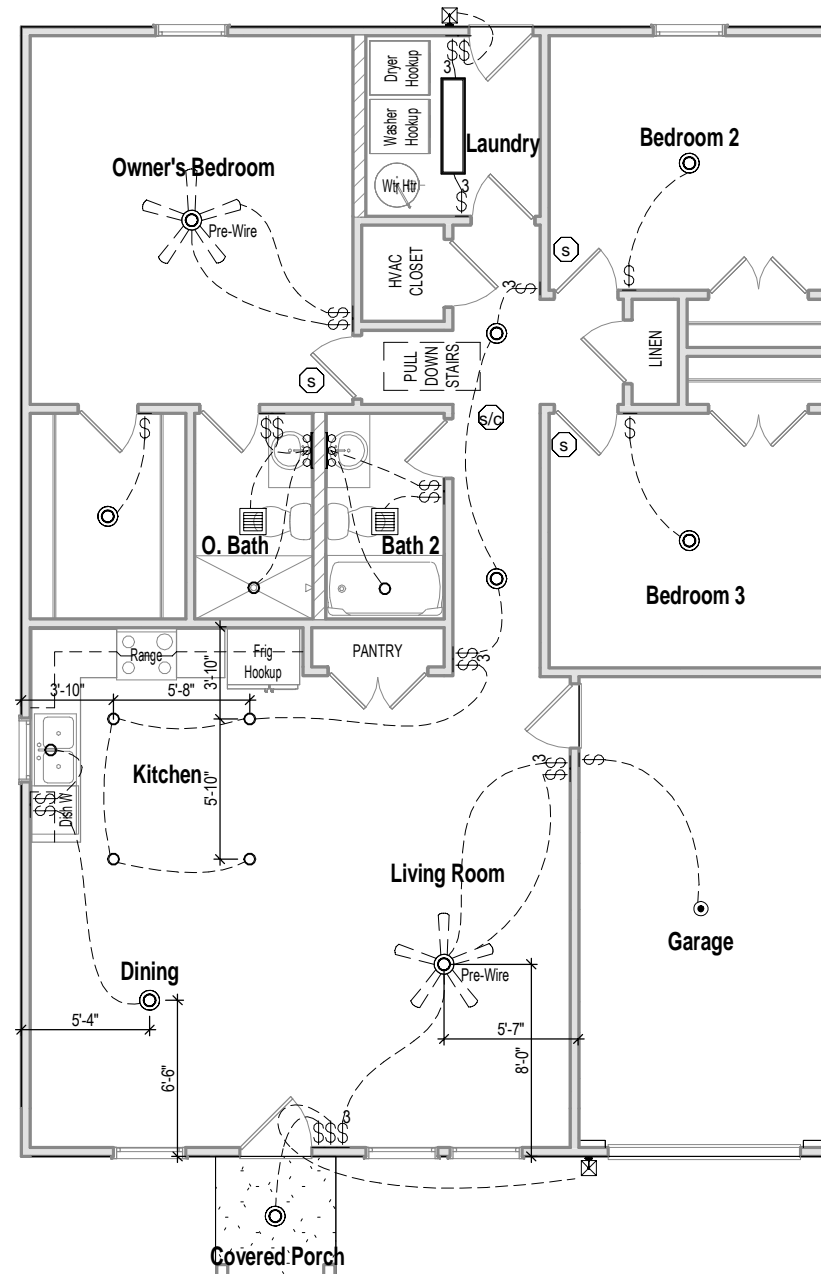
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


















Job Version Date:

Sheet #:
E1.0a



1 1st Floor Electrical Opt. Pkg. (surface lights are cans)
1/8" = 1'-0"

ELECTRICAL LEGEND

WALL MOUNTED FIXTURES		CEILING MOUNTED FIXTURES		
 OUTLET - 110V	 OUTLET - TV	 WALL LIGHT	 GARAGE DOOR OPENER PREWIRE	 SMOKE DETECTOR
 OUTLET - 110V GROUND FAULT INTERRUPTER	 OUTLET - PHONE	 18" LIGHT BAR	 FLUSH MOUNT	 SMOKE DETECTOR/CO2
 OUTLET - 110V GROUND FAULT INTERRUPTER WATER PROOF	 SWITCH - SINGLE POLE	 COACH LIGHT - FRONT DOOR	 SURFACE CAN LIGHT	 BATHROOM EXHAUST FAN
 OUTLET - 220V	 SWITCH - 3 WAY	 COACH LIGHT - REAR DOOR	 FLUSH MOUNT W-FAN PREWIRE	 FLUORESCENT 1'X4'2 LAMPS
	 SWITCH - 4 WAY			