

ABBREVIATIONS	
ABV	ABOVE
AC	AIR CONDITIONING
A.D.	AREA DRAIN
ADJ.	ADJUSTABLE
ALT.	ALTERNATE
ALUM.	ALUMINUM
BA	BATHROOM
BD	BOARD
BF	BIFOLD (DOOR)
BLDG.	BUILDING
BLK.	BLOCK (CMUs)
BLW.	BELOW
BM	BEAM
BP	BI-PASS (DOOR)
BOT.	BOTTOM
BTWN.	BETWEEN
CAB.	CABINET
CER.	CERAMIC
C.J.	CONTROL JOINT OR CONSTRUCTION JOINT
CL.	CLOSET OR CENTER LINE
CLG.	CEILING
CLG.	CEILING
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
C.	CARPET
CR.	CORROSION RESISTANT
CSMT.	CASEMENT
C.T.	CERAMIC TILE
D.	DRYER
DBL.	DOUBLE
DH.	DOUBLE HUNG
DIM.	DIMENSION
DISP.	DISPOSAL
DN.	DOWN
DR.	DOOR
DS.	DOWNSPOUT
DW.	DISH WASHER
DWG.	DRAWING
E.	EAST
EA.	EACH
ELEV.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
EXT.	EXTERIOR
FAU.	FORCED AIR UNIT
F.C.	FLOOR CHANGE
F.D.	FLOOR DRAIN
FFL.	FINISH FLOOR LINE
F.G.	FINISHED GRADE
FLR.	FLOORING
FL.	FLOURESCENT (LIGHT)
FND.	FOUNDATION
F.O.S.	FACE OF STUD
FTG.	FOOTING
FX.	FIXED GLASS
GALV.	GALVANIZED
GAR.	GARAGE
G.B.	GYPSUM BOARD
GD.	GRADE OR GRADING
G.D.O.	GARAGE DOOR OPERATOR
GF.	GROUND FAULT INTERRUPTER
GL.	GLASS OR GLAZING
GYP.	GYPSUM BOARD
HD.	HEAD OR HARD
HDR.	HEADER
HGT.	HEIGHT
HVAC.	HEATING/VENTILATING/AIR COND.
HWD.	HARDWOOD
INT.	INTERIOR
JST.	JOIST
JT.	JOINT
KIT.	KITCHEN
L.	LENGTH
LA.	LAUNDRY
LAV.	LAVATORY
LVR.	LOUVER
MAX.	MAXIMUM
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
N.	NORTH
N.T.S.	NOT TO SCALE
O.G.D.	OVERHEAD GARAGE DOOR
OH.	OVERHEAD
OP.	OPTIONAL
PAR.	PARALLEL
P.B.	PUSH BUTTON
PDR.	POWDER
PED.	PEDESTAL
PL.	PLATE
PR.	PAIR
P.T.	PRESSURE TREATED WOOD
PVC.	POLYVINYL CHLORIDE PIPE
P.V.M.T.	PAVEMENT
P.W.	PRE-WIRE
PWD.	PLYWOOD
R.	RISK
RAP.	RETURN AIR GRILL
REF.	REFERENCE
REFR.	REFRIGERATOR
REQ.	REQUIRED
S.	SOUTH
SD.	SMOKE DETECTOR
S.F.	SQUARE FEET
S.G.D.	SLIDING GLASS DOOR
SH.	SINGLE HUNG OR SHELF
SIM.	SHOWER
SP.	SLOPE / SLIDING
SP.	SPRING
SPEC.	SPECIFICATIONS
STD.	STANDARD
STR.	STRUCTURAL
SQ.	SQUARE
SVM.	SYMBOL
SAS.	SMOOTH FOUR SIDES
T.	TREAD (AT STAIRS) OR TILE
T.B.	TOWEL BAR
TEMP.	TEMPERED (GLASS)
T&G.	TONGUE & GROOVE
T.O.C.	TOP OF CURB
TV.	TELEVISION
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.B.	VAPOR BARRIER
VERT.	VERTICAL
V.T.R.	VENT THRU ROOF
W.	WASHING MACHINE
WD.	WOOD
WOW.	WINDOW
WH.	WATER HEATER
WI.	WROUGHT IRON
WIC.	WALK-IN CLOSET
W/WO.	WITH OR WITHOUT
WP.	WATERPROOFING
WWM.	WELDED WIRE MESH
R.	PROPERTY LINE
O.	ROUND / DIAMETER
& ANG.	
Q.	CENTERLINE
#	POUND / NUMBER

INDEX	
A0.1.1	SLAB PLANS
A0.2.1	STEMWALL PLANS
A0.3.1	CRAWL SPACE PLANS
A1.0	UNFINISHED BASEMENT PLAN 'A'
A1.0.1	FINISHED BASEMENT PLAN
A1.1	FLOOR PLAN '1'
A1.2	FLOOR PLAN '2'
A1.3	FLOOR PLAN '3'
A1.4	FLOOR PLAN '4'
A1.5	FLOOR PLAN OPTIONS
A4.1	SECTIONS
A5.1	ELEVATIONS '1'
A5.1.1	ELEV OPTIONS
A5.1.2	ELEV OPTIONS
A5.1.3	ELEV OPTIONS
A5.1.4	ROOF PLAN '1'
A5.2	ELEVATIONS '2'
A5.2.1	ROOF PLAN '2'
A5.3	ELEVATIONS '3'
A5.3.1	ROOF PLAN '3'
A5.4	ELEVATIONS '4'
A5.4.1	ROOF PLAN '4'
E0.1	BASEMENT UTILITY PLAN
E1.0a	UTILITY PLANS - STD. PKG.
E1.0b	UTILITY PLANS - OPT. PKG.

### BUILDING CODE COMPLIANCE / PROJECT INFORMATION

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:  
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.  
2018 NORTH CAROLINA STATE SUPPLEMENTS AND AMENDMENTS

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

PRODUCT:  
SINGLE FAMILY RESIDENCE / 3 STORY TOWNHOMES

OCCUPANCY CLASSIFICATION  
RESIDENTIAL R-3

CONSTRUCTION TYPE:  
TYPE VB (2 HOUR DWELLING SEPARATION BETWEEN UNITS)

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE GMD DESIGN GROUP CAROLINAS, INC. DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP CAROLINAS, INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

### GENERAL NOTES:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING. (PER LOCAL CODES.)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TOWEL BAR, TOWEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE OWNER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR, IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST. THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW. (PER NCRC SECTION R310.1.1)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES.)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES.

### BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A "BUILDER'S SET" OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREINAFTER REFERRED TO AS "PLANS". THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY; WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK; WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT; WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

# CAMDEN

## PLAN 1732

ELEV. 'A' AREA	
Name	Area
FIRST FLOOR	695 SF
SECOND FLOOR	1037 SF
HEATED	1732 SF
GARAGE	389 SF
PORCH	12 SF
UNHEATED	401 SF

ELEV. 'B' AREA	
Name	Area
FIRST FLOOR	707 SF
SECOND FLOOR	1037 SF
HEATED	1745 SF
GARAGE	388 SF
PORCH	26 SF
UNHEATED	414 SF

ELEV. 'C' AREA	
Name	Area
FIRST FLOOR	707 SF
SECOND FLOOR	1024 SF
HEATED	1731 SF
GARAGE	388 SF
PORCH	26 SF
UNHEATED	414 SF

ELEV. 'D' AREA	
Name	Area
FIRST FLOOR	707 SF
SECOND FLOOR	1024 SF
HEATED	1731 SF
GARAGE	388 SF
PORCH	26 SF
UNHEATED	414 SF

OPTIONAL SF	
Name	Area
FINISHED BASEMENT	456 SF
STORAGE W/ FIN. BASMENT	161 SF
BASEMENT PATIO	120 SF
UNFINISHED BASEMENT	636 SF

NORTH CAROLINA OFFICE  
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NO:	DATE:	REVISION:

PROFESSIONAL SEAL:

PROJECT TITLE:

### CAMDEN

### CONSTRUCTION SET

QUACKENBUSH HOMES

PROJECT NO:

SHEET TITLE:  
**COVER SHEET**

PRINT DATE:  
4-13-22

SHEET NO:  
**T-1**

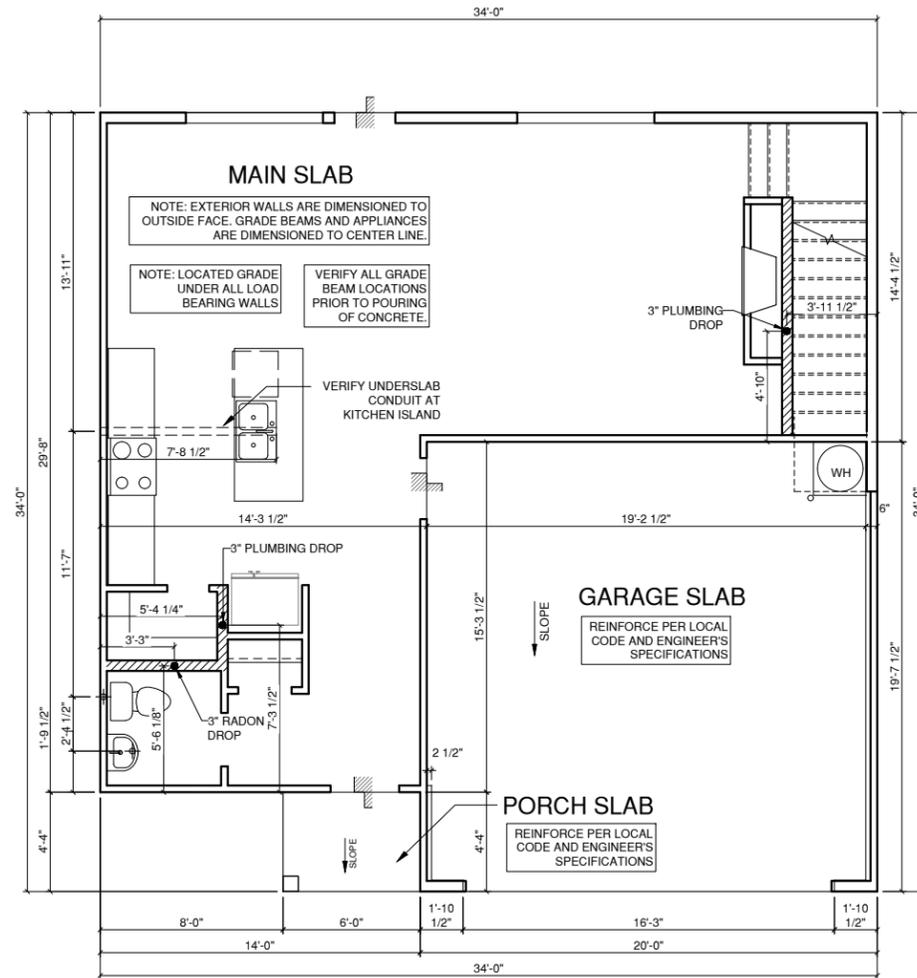
**NOTES FOR NORTH CAROLINA:**

- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
- THIS PERIMETER DIMENSION PLAN IS FOR DIMENSIONAL INFORMATION ONLY.
- SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.
- SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.
- VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.
- REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR HOLDDOWNS, FOOTING DETAILS, CURB THICKNESS, AND INFORMATION NOT SHOWN ON THIS PLAN.
- PLUMBING FIXTURES, VENT LOCATIONS, ETC. ARE APPROXIMATE. CONTRACTOR TO VERIFY COUNT AND LOCATION.
- VERIFY THE SUPPLY FOR SEPARATE CONDUITS TO ANY ISLAND FOR GAS, WATER OR ELECTRIC.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES. 8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1.)
- TYP STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM. (PER NCRC SECTION R311.3.) PROVIDE A SLIP-RESISTANT FINISH.
- FOR THE USE OF EXPOSED GAS WATER HEATERS IN THE GARAGE, PROTECT THE WATER HEATER WITH 3" DIA CONCRETE FILLED STEEL PIPE EMBEDDED INTO CONCRETE FOOTING.
- SOILS TREATMENT:  
BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INFESTATION ACCORDING TO THE STANDARDS OF THE NC DEPT OF AGRICULTURE.)
- WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPARATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

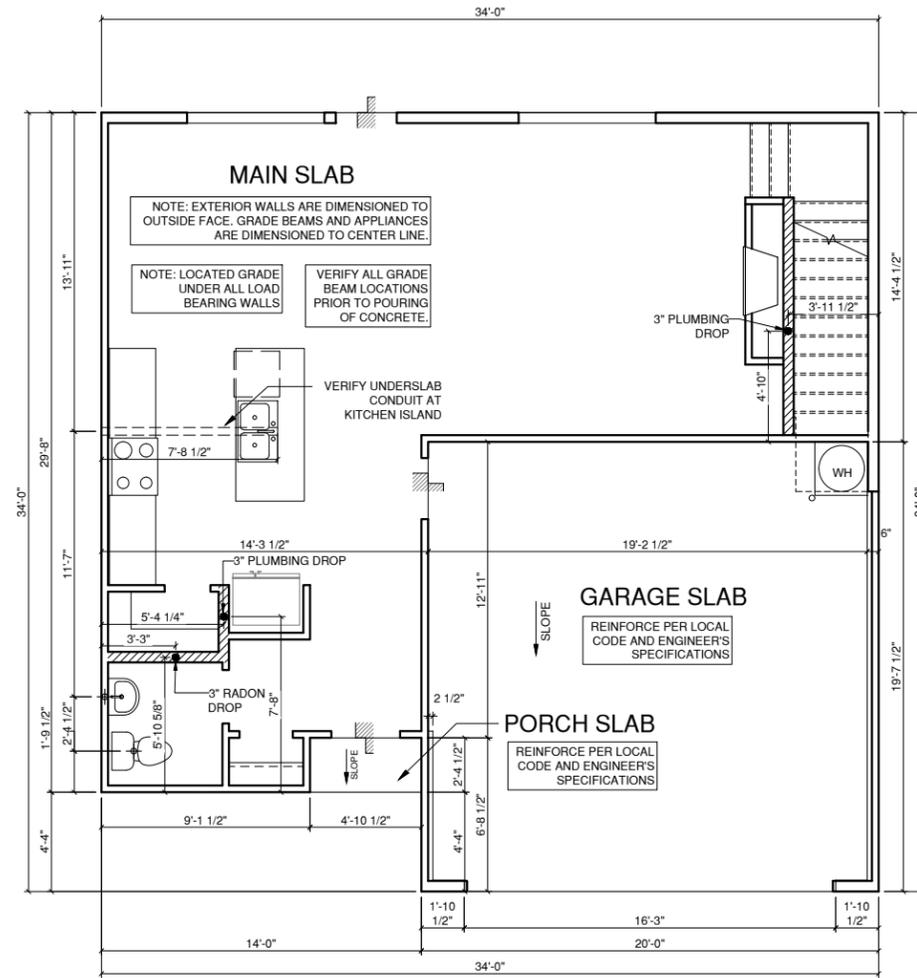
**REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS**

**FOUNDATION KEYNOTE LEGEND**

F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE



**2 SLAB PLAN '2', '3' & '4'**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**1 SLAB PLAN '1'**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

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NO: DATE: REVISION:

PROJECT TITLE:

**CAMDEN**

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

SHEET TITLE:

**SLAB PLANS**

PRINT DATE:

4-13-22

SHEET NO:

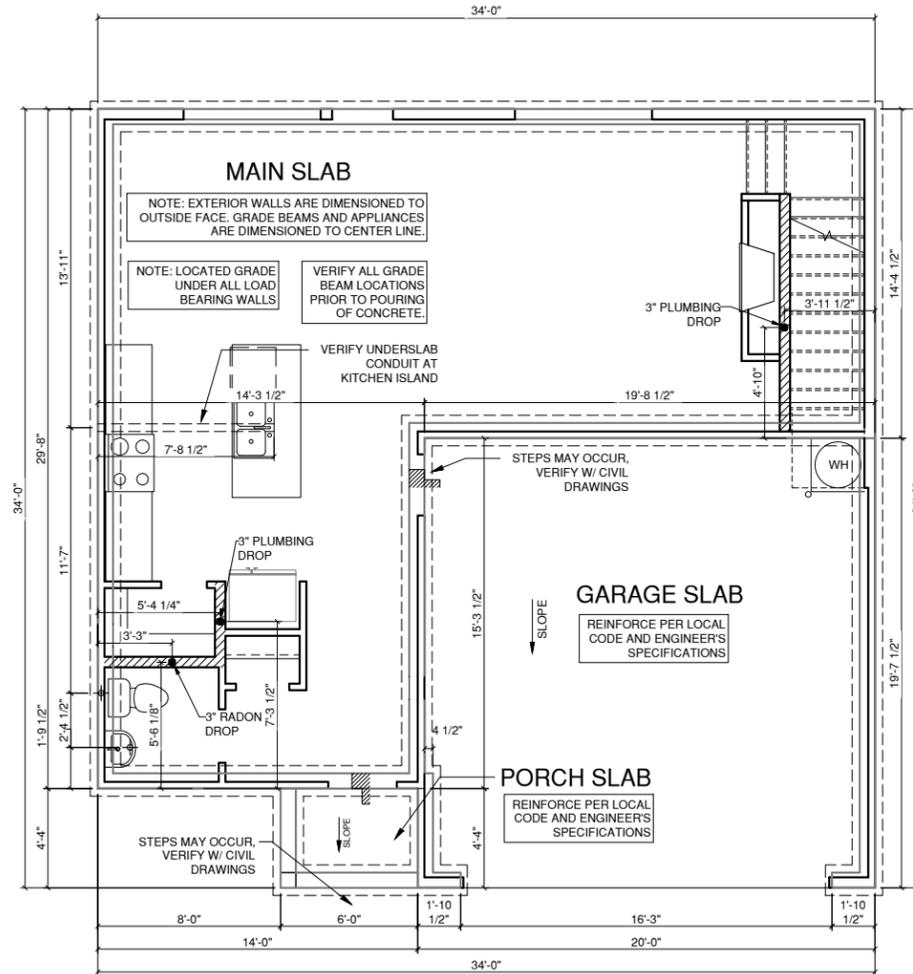
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**NOTES FOR NORTH CAROLINA:**

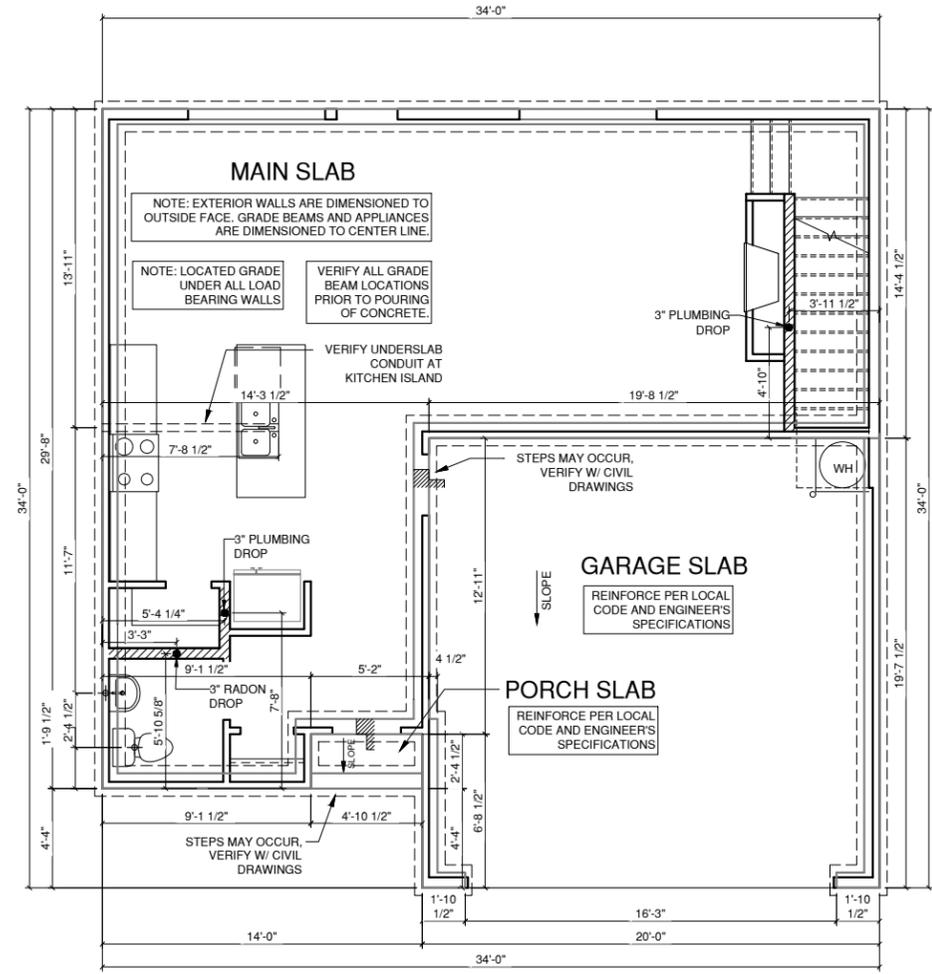
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**REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS**

FOUNDATION KEYNOTE LEGEND	
F1	LINE OF SLAB ABOVE
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**2 STEMWALL PLAN '2', '3' & '4'**  
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**CAMDEN**

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

SHEET TITLE:

**STEMWALL PLANS**

PRINT DATE:

4-13-22

SHEET NO:

**A0.2.1**



**BASEMENT NOTES FOR NORTH CAROLINA:**

- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- WINDOW HEAD HTS:  
BASEMENT = 6'-8" U.N.O. ON ELEVATIONS
- PROVIDE FIREBLOCKING. (PER NCRC SECTION R602.8)
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW (PER NCRC SECTION R301.1.1)
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
- REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.
- VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES.  
8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1)
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**WALL LEGEND**

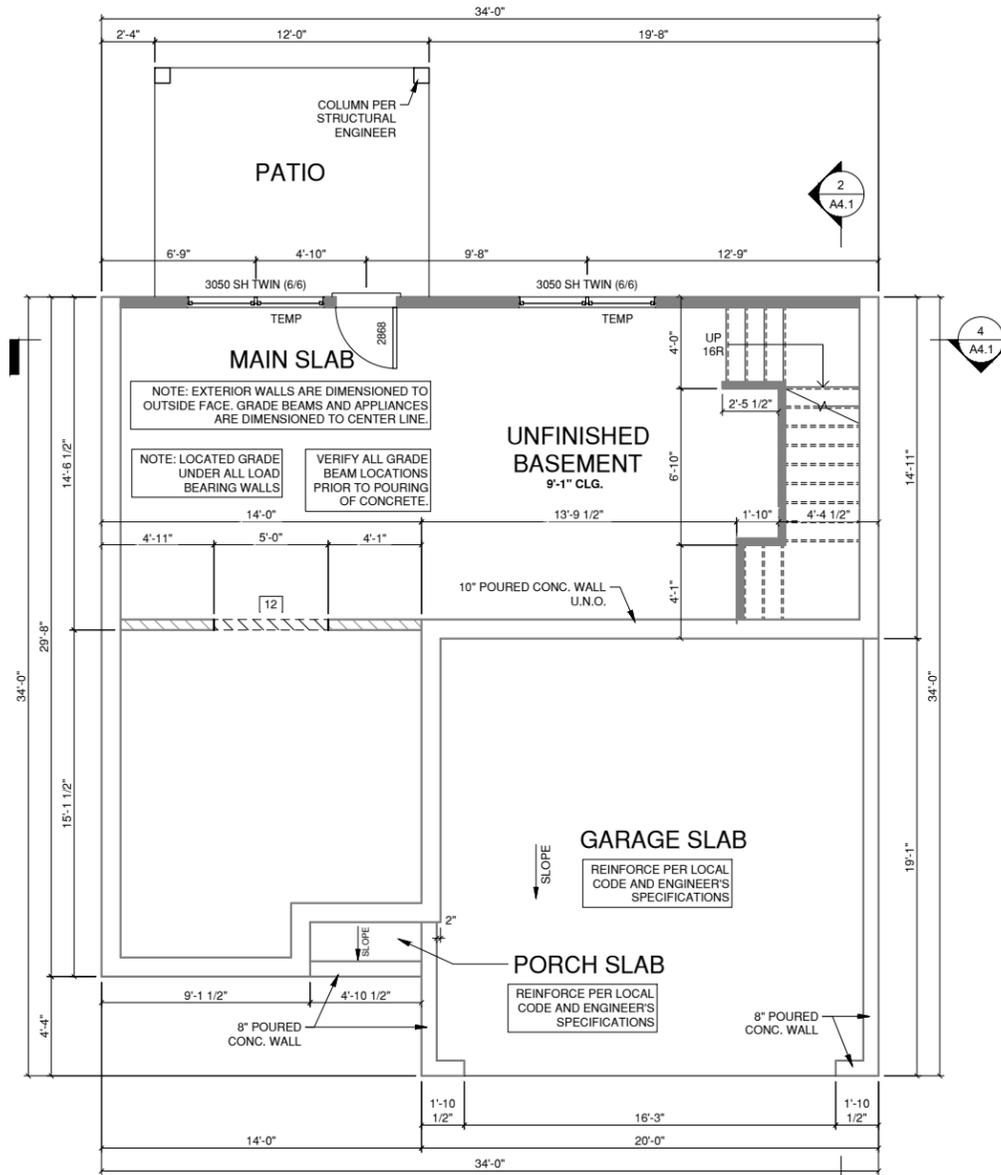
	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER		DRYWALL OPENING HEIGHT AS NOTED ON PLAN
	BRICK VENEER		
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED		

**FOUNDATION KEYNOTE LEGEND**

F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE

**FLOOR PLAN KEYNOTE LEGEND**

1	HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
2	HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR
4	GAS WATER HEATER ON 18" HIGH PLATFORM
7	PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
9	TEMPERED SAFETY GLASS
11	HALF WALL. HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE
14	TUB-SHOWER COMBO
16	SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS
19	ACCESS HATCH/DOOR. FULLY WEATHER STRIPPED AND INSULATED. (PER NCRC SECTION N1102.2.3)



**UNFINISHED BASEMENT PLAN '1'**

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT

NORTH CAROLINA OFFICE  
102 FOUNTAIN BROOK CIRCLE  
SUITE C  
CARY, NC 27511  
PHONE: (919) 320-3022

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NO:	DATE:	REVISION:

PROJECT TITLE:

**CAMDEN**

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

SHEET TITLE:

**UNFINISHED BASEMENT PLAN 'A'**

PRINT DATE:

4-13-22

SHEET NO:

**A1.0**

**BASEMENT NOTES FOR NORTH CAROLINA:**

-ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.  
 -FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.  
 -WINDOW HEAD HTS:  
 BASEMENT = 6'-8" U.N.O. ON ELEVATIONS  
 -PROVIDE FIREBLOCKING. (PER NCRC SECTION R602.8)  
 -WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR OPENABLE AREA OF 4.0 SQ FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 22" AND THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". GLAZING TOTAL AREA OF NOT LESS THAN 5.0 SQ FT IN THE CASE OF A GROUND WINDOW AND NOT LESS THAN 5.7 SQ FT IN THE CASE OF AN UPPER STORY WINDOW (PER NCRC SECTION R301.1.1)  
 -ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.  
 -REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.  
 -VERIFY ALL DOOR THRESHOLD HEIGHTS TO HARD SURFACES.  
 8 1/4" MAX AT INSWING DOORS. (PER NCRC SECTION R311.3.1)  
 -SLOPE ALL STOOPS AND HARDSCAPE MATERIAL AWAY FROM BUILDING - TYPICAL.  
 -SLOPE GARAGE FLOOR 1/8" PER FOOT TO GARAGE DOOR OPENING.  
 -VERIFY CURB CUT BLOCKOUT WITH GARAGE DOOR MANUFACTURER.  
 -REFER TO CIVIL DRAWINGS FOR FINISH SURFACE ELEVATIONS.  
 -TYP. STOOP AT INSWING/SLIDER DOORS: 36" DEEP BY THE WIDTH OF THE DOOR SERVED, MINIMUM (PER NCRC SECTIONS R311.3) PROVIDE A SLIP-RESISTANT FINISH.  
 -SOILS TREATMENT:  
 BORACARE TERMITE TO BE APPLIED TO FRAMING PER PRODUCT SPECIFICATIONS. (PROVIDE CHEMICAL TREATMENT FOR PROTECTION FROM TERMITE INVESTIGATION ACCORDING TO THE STANDARDS OF THE NC DEPT. OF AGRICULTURE.)  
 -WOOD CONTACTING CONCRETE OR MASONRY OR LESS THAN CODE REQUIRED SEPERATION TO GRADE SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD. SET ALL EXTERIOR WALL SILLS IN MASTIC.

**REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION DIMENSIONS**

**WALL LEGEND**

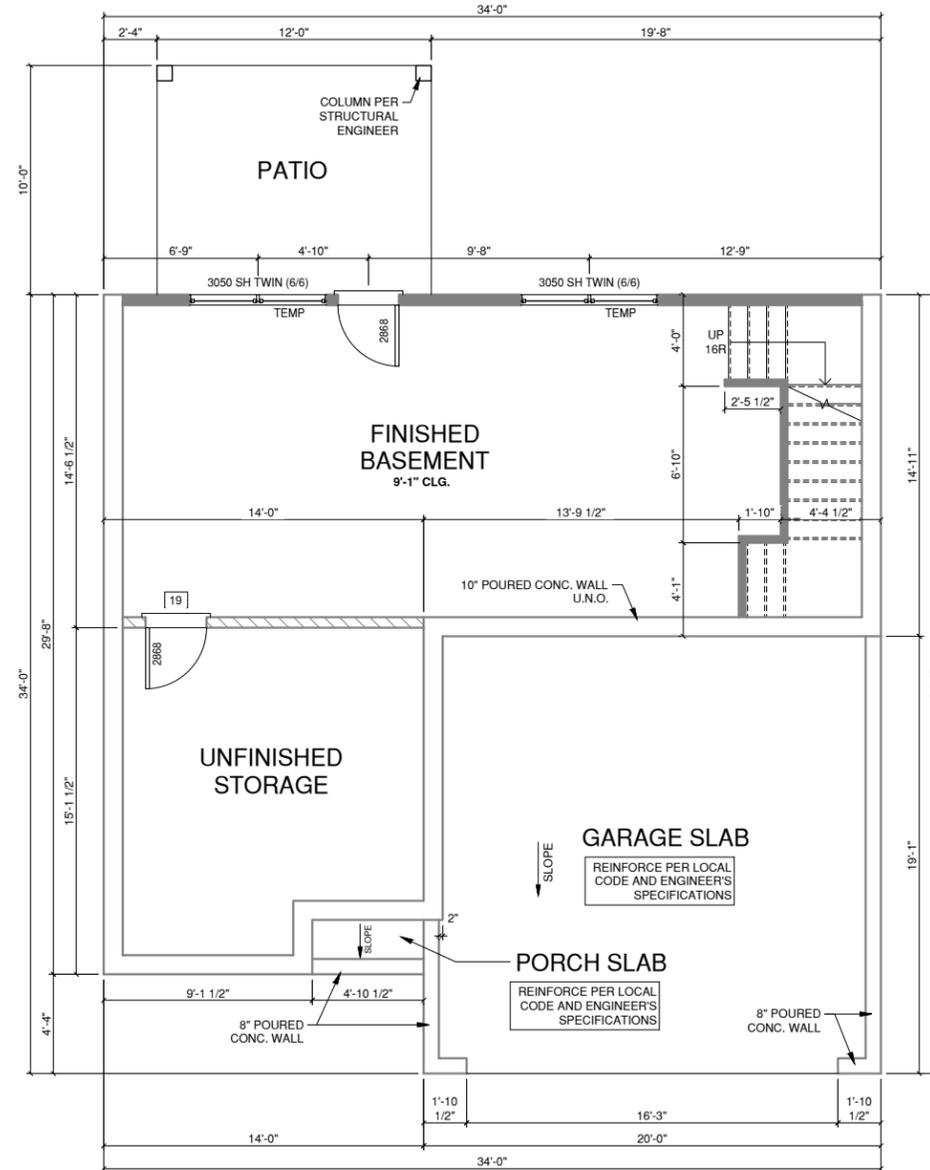
	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER		DRYWALL OPENING HEIGHT AS NOTED ON PLAN
	BRICK VENEER		
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED		

**FOUNDATION KEYNOTE LEGEND**

F1	LINE OF SLAB ABOVE
F2	LINE OF FRAMED WALL ABOVE

**FLOOR PLAN KEYNOTE LEGEND**

1	HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
2	HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1 3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR
4	GAS WATER HEATER ON 18" HIGH PLATFORM
7	PRE-FABRICATED METAL FIREPLACE, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASSED OPENING U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE
14	TUB-SHOWER COMBO
16	SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS
19	ACCESS HATCH/DOOR, FULLY WEATHER STRIPPED AND INSULATED. (PER NCRC SECTION N1102.2.3)



**FINISHED BASEMENT PLAN '1'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

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CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

SHEET TITLE:

**FINISHED BASEMENT PLAN**

PRINT DATE:

4-13-22

SHEET NO:

**A1.0.1**

NORTH CAROLINA OFFICE  
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CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO.:

SHEET TITLE:

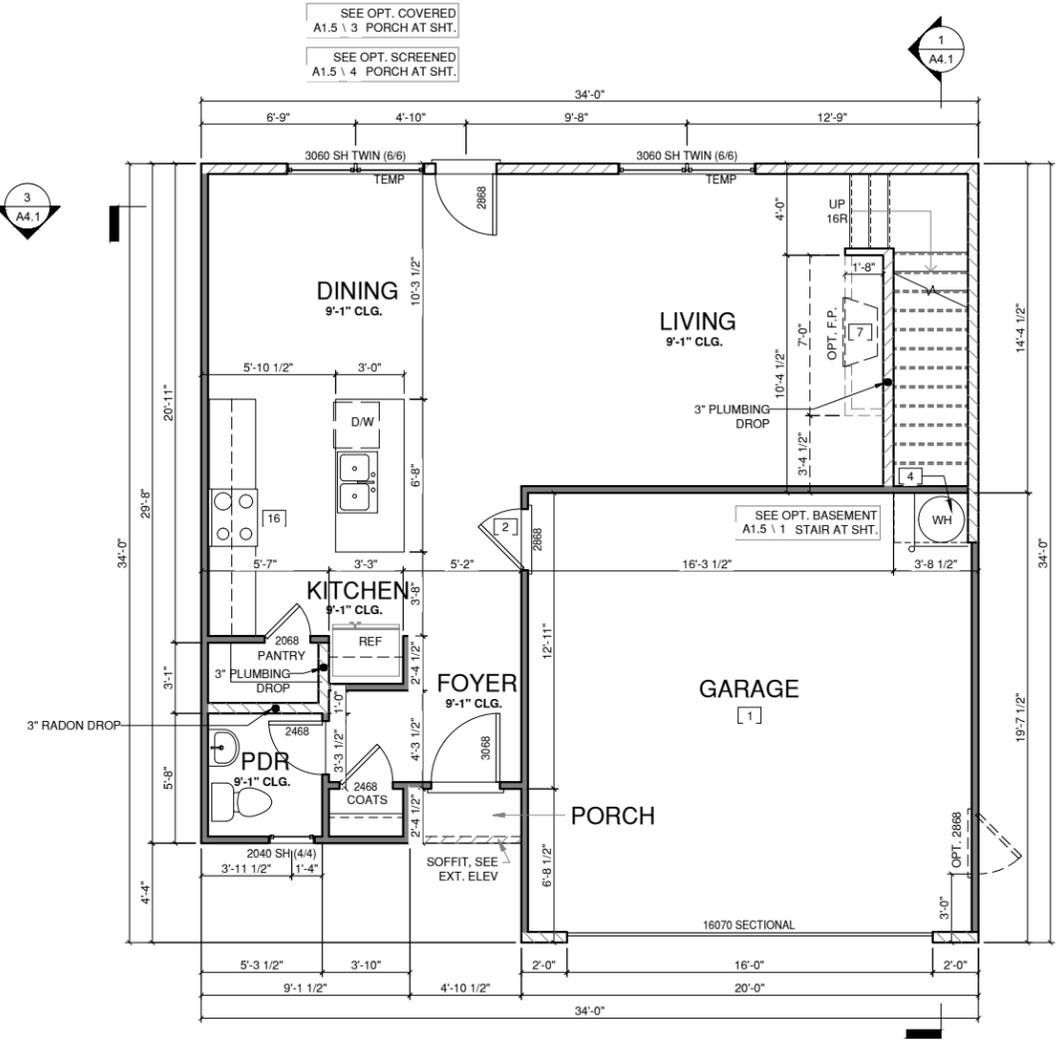
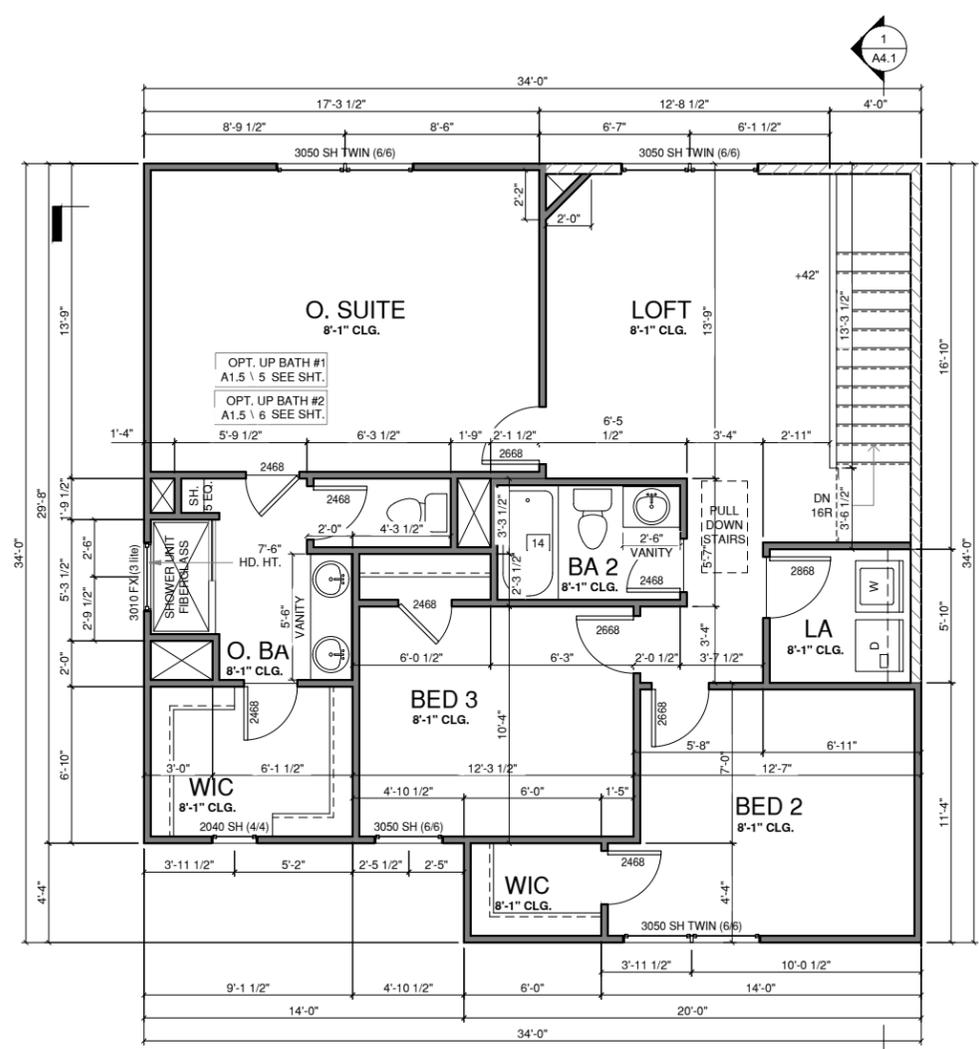
**FLOOR PLAN '1'**

PRINT DATE:

4-13-22

SHEET NO.:

**A1.1**

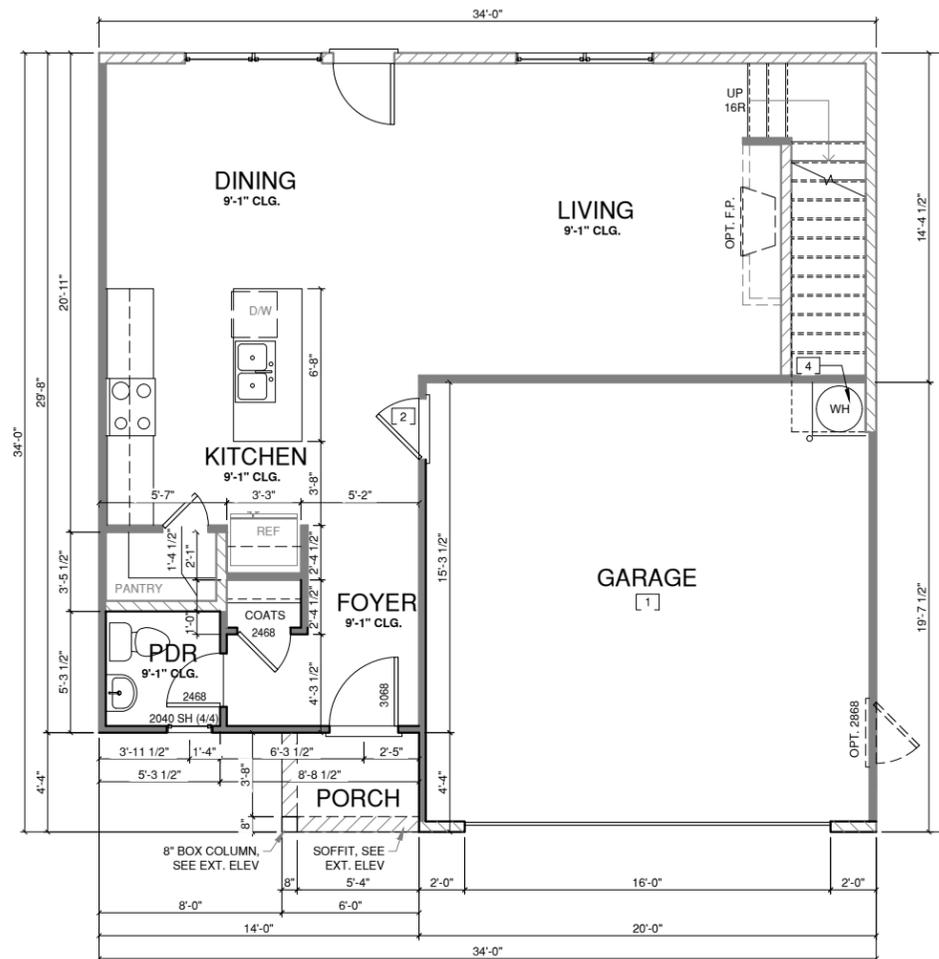
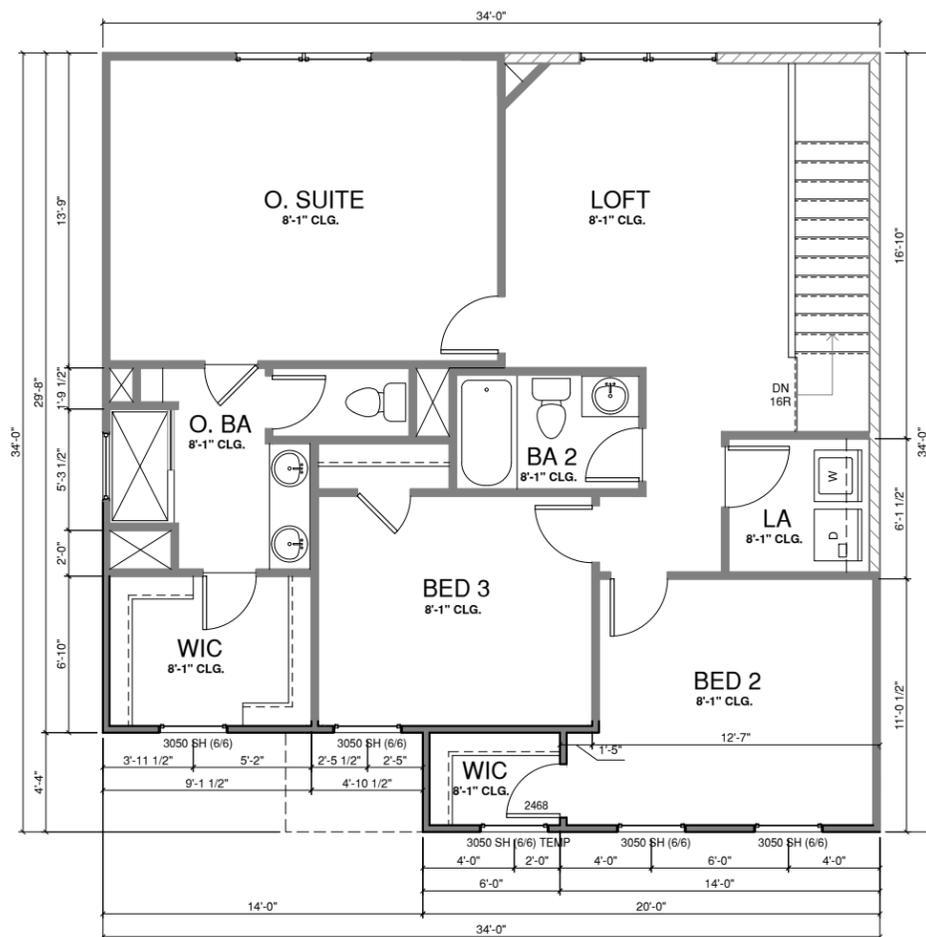


**WALL LEGEND**

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER		DRYWALL OPENING HEIGHT AS NOTED ON PLAN
	BRICK VENEER		
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED		

**FLOOR PLAN KEYNOTE LEGEND**

1	HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD
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4	GAS WATER HEATER ON 18" HIGH PLATFORM
7	PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
9	TEMPERED SAFETY GLASS
11	HALF WALL, HEIGHT AS NOTED
12	INTERIOR SOFFITS: FFL = 8'-1" U.N.O. SFL = 7'-6" U.N.O., OPT. CASED OPENING U.N.O.
13	SHOWER, TEMPERED GLASS ENCLOSURE
14	TUB-SHOWER COMBO
16	SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS
19	ACCESS HATCH/DOOR. FULLY WEATHER STRIPPED AND INSULATED. (PER NCR SECTION N1102.2.3)



WALL LEGEND	
	FULL HEIGHT 2X4 WOOD STUD PARTITION
	FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER
	BRICK VENEER
	DRYWALL OPENING HEIGHT AS NOTED ON PLAN
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED

FLOOR PLAN KEYNOTE LEGEND	
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SHEET TITLE:

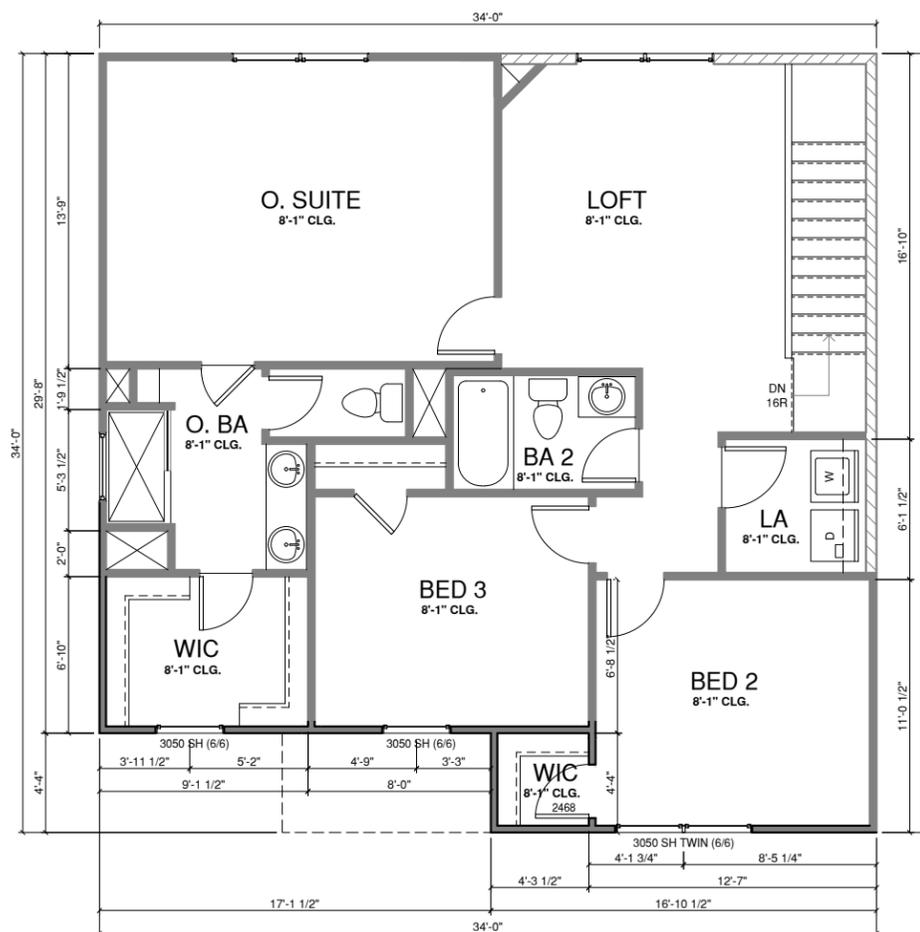
**FLOOR PLAN '3'**

PRINT DATE:

4-13-22

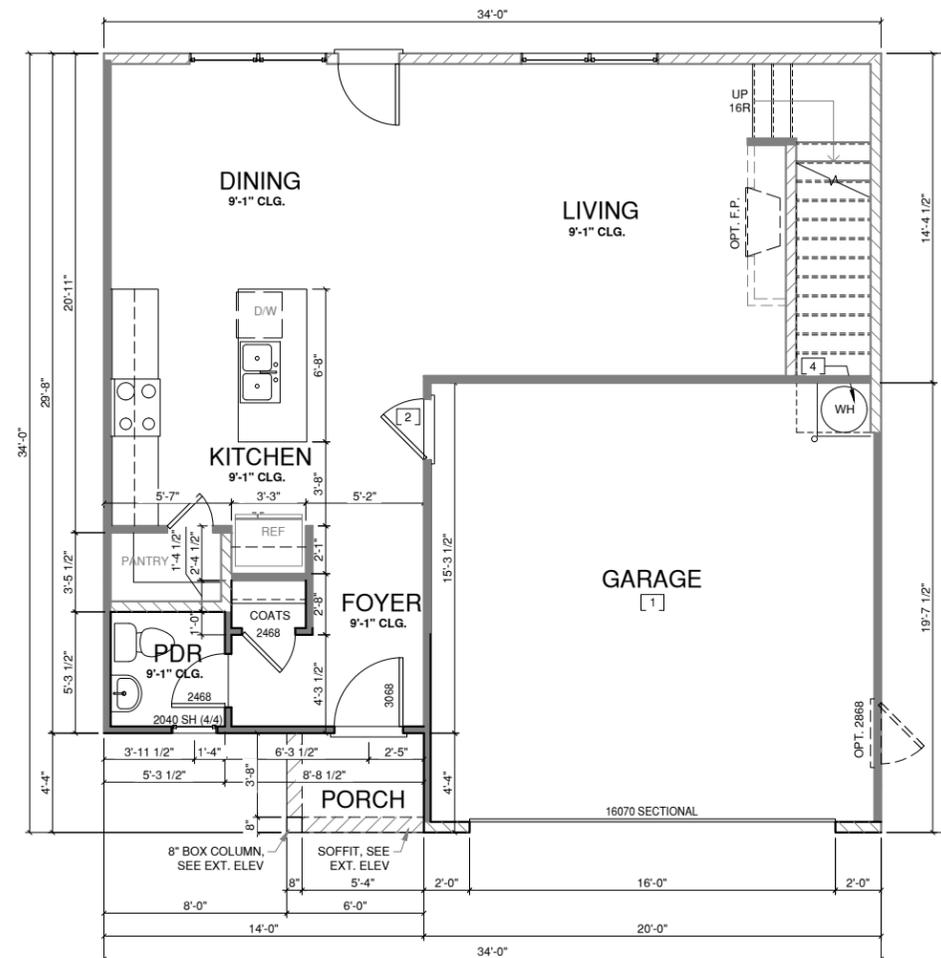
SHEET NO.:

**A1.3**



**SECOND FLOOR PLAN ELEV '3'**

1/4" = 1'-0" AT 22'X34' LAYOUT 1/8" = 1'-0" AT 11' X 17' LAYOUT



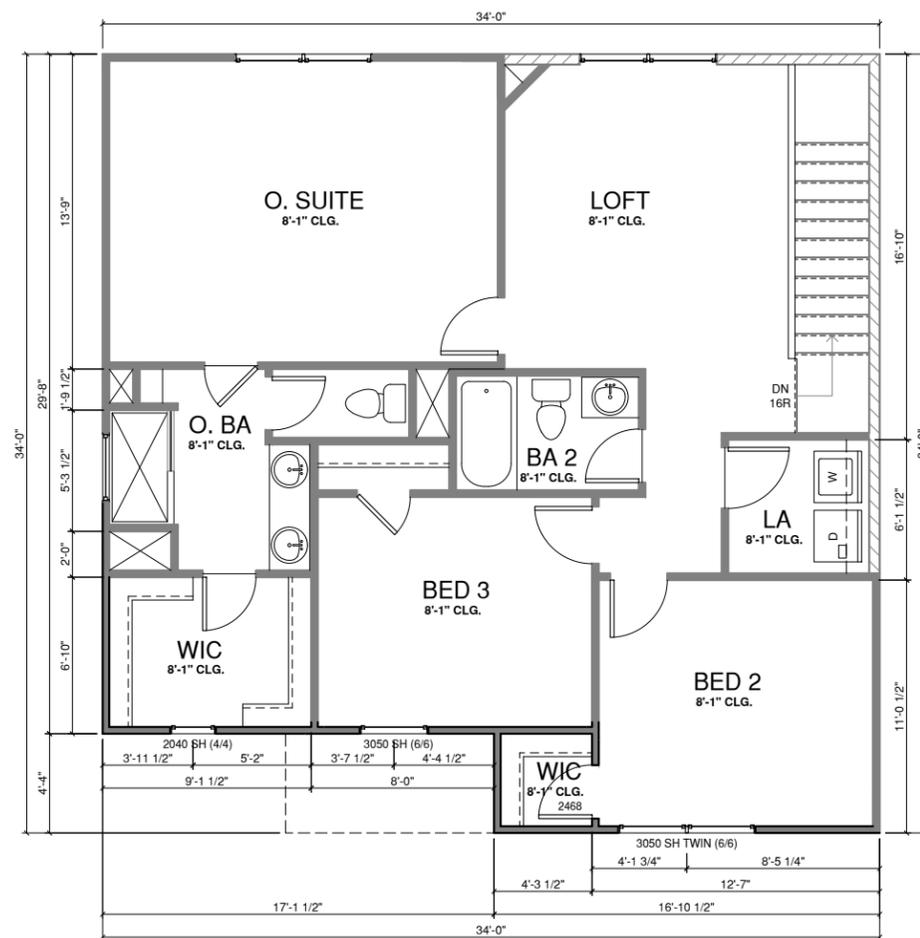
**FIRST FLOOR PLAN ELEV '3'**

1/4" = 1'-0" AT 22'X34' LAYOUT 1/8" = 1'-0" AT 11' X 17' LAYOUT

WALL LEGEND	
	FULL HEIGHT 2X4 WOOD STUD PARTITION
	STONE VENEER
	BRICK VENEER
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	FULL HEIGHT 2X6 WOOD STUD PARTITION
	DRYWALL OPENING HEIGHT AS NOTED ON PLAN

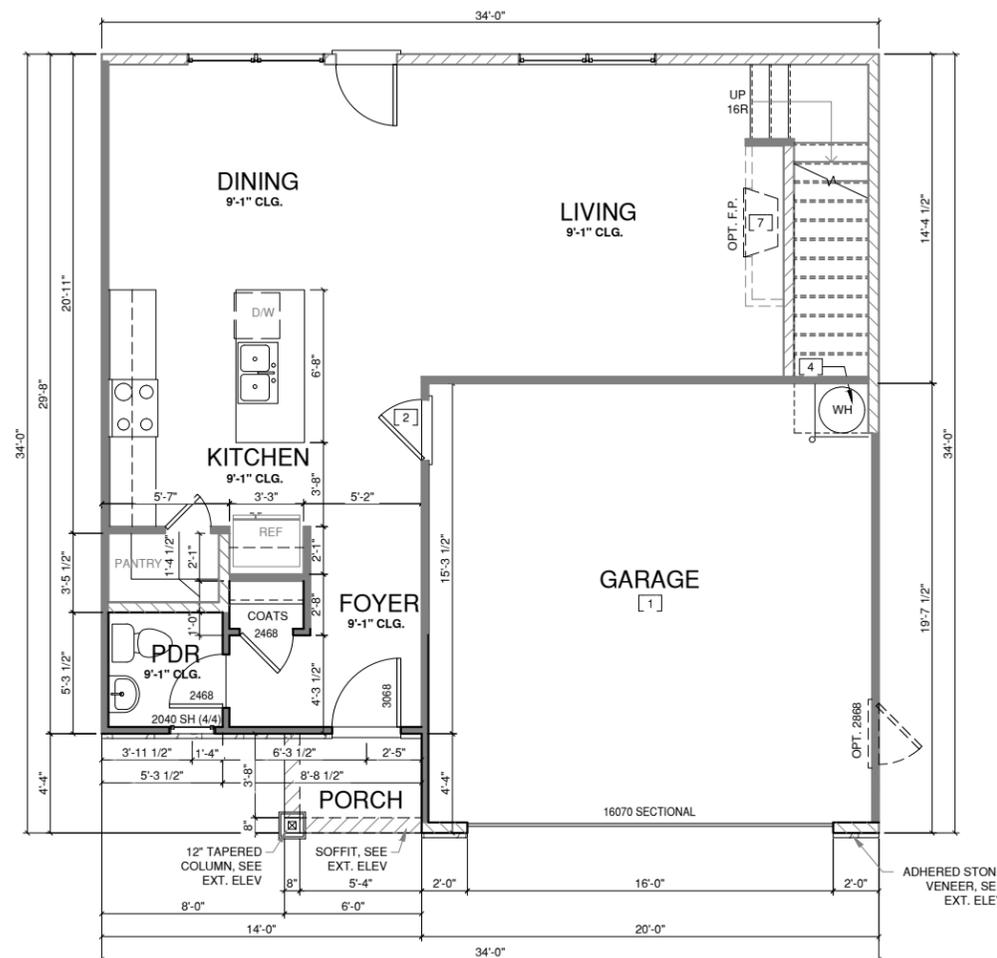
FLOOR PLAN KEYNOTE LEGEND	
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**CONSTRUCTION SET**



**SECOND FLOOR PLAN ELEV '4'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**FIRST FLOOR PLAN ELEV '4'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

**WALL LEGEND**

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER		DRYWALL OPENING HEIGHT AS NOTED ON PLAN
	BRICK VENEER		
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED		

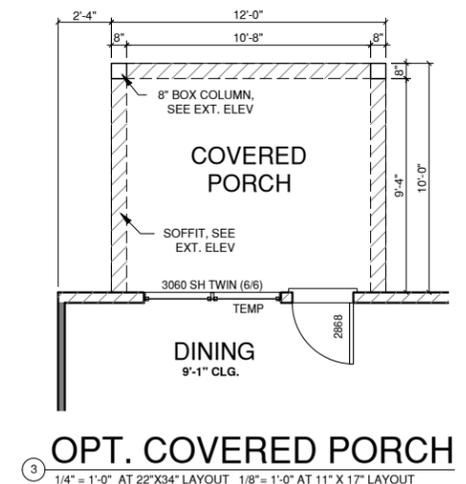
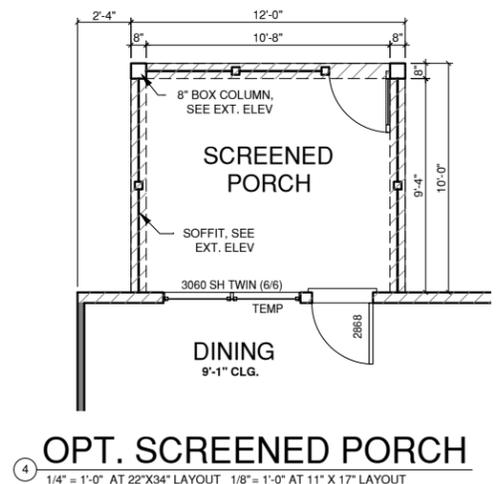
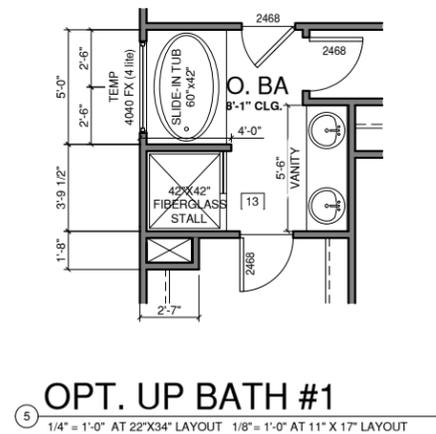
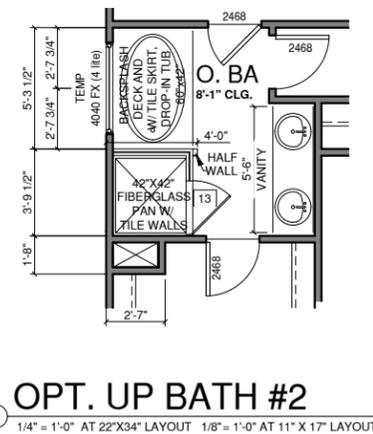
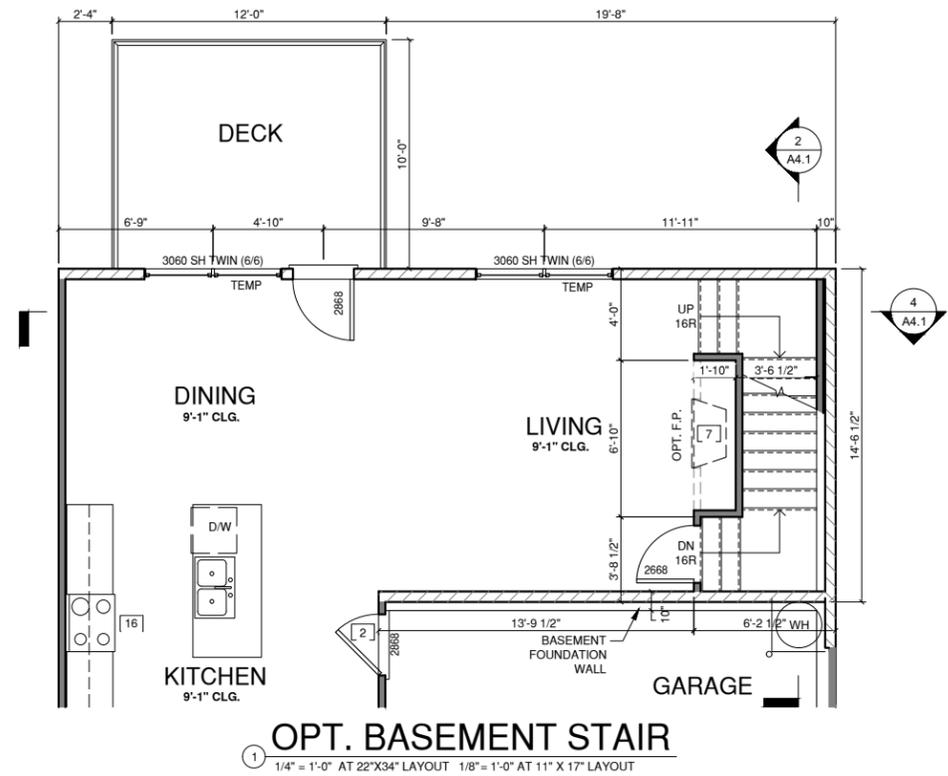
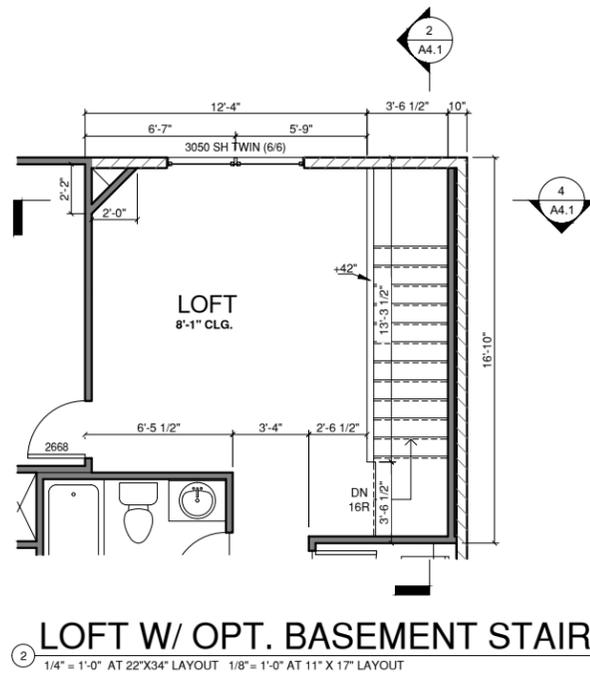
**FLOOR PLAN KEYNOTE LEGEND**

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**CONSTRUCTION SET**

WALL LEGEND	
	FULL HEIGHT 2X4 WOOD STUD PARTITION
	FULL HEIGHT 2X6 WOOD STUD PARTITION
	STONE VENEER
	BRICK VENEER
	STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	DRYWALL OPENING HEIGHT AS NOTED ON PLAN

FLOOR PLAN KEYNOTE LEGEND	
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PROJECT TITLE:

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**CONSTRUCTION SET**

CLIENTS NAME:  
 QUACKENBUSH HOMES

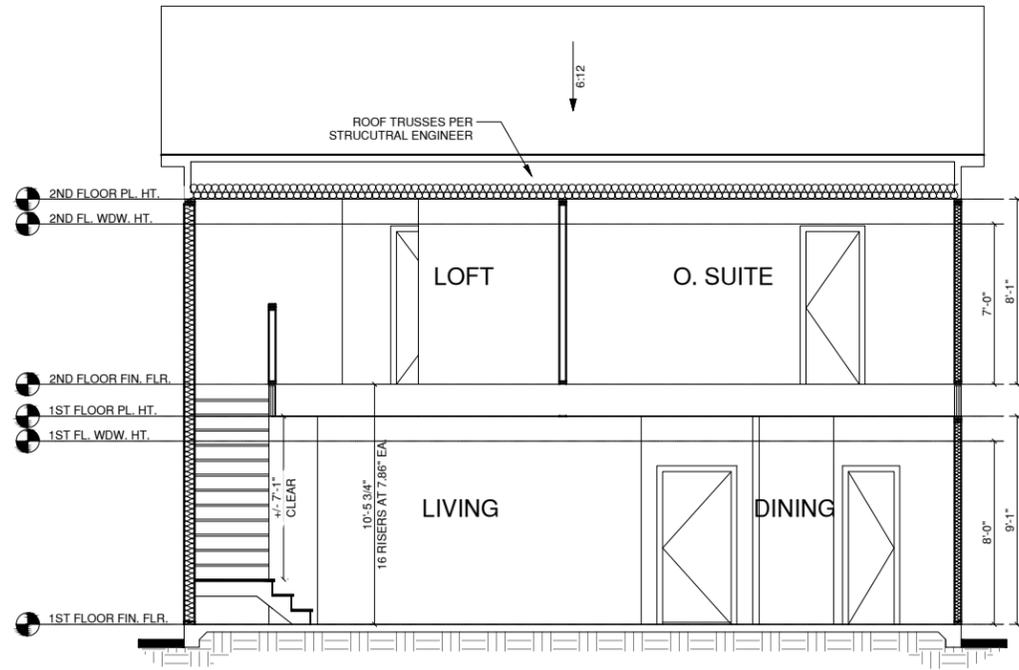
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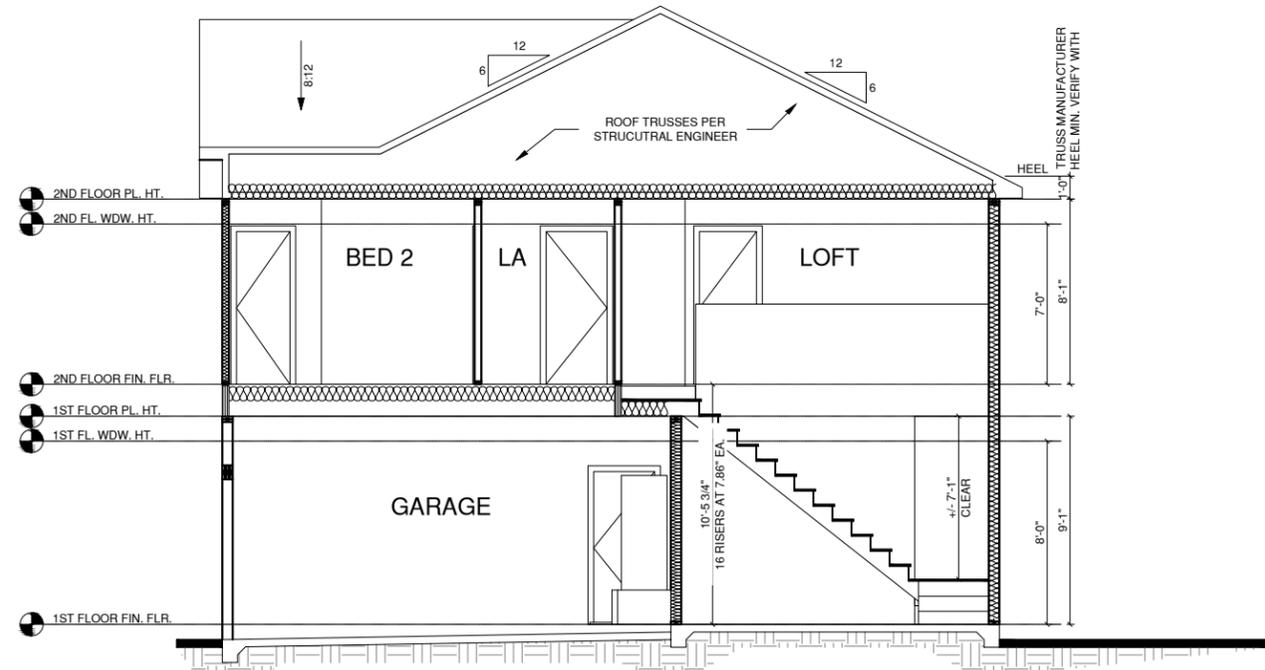
**FLOOR PLAN OPTIONS**

PRINT DATE:  
 4-13-22

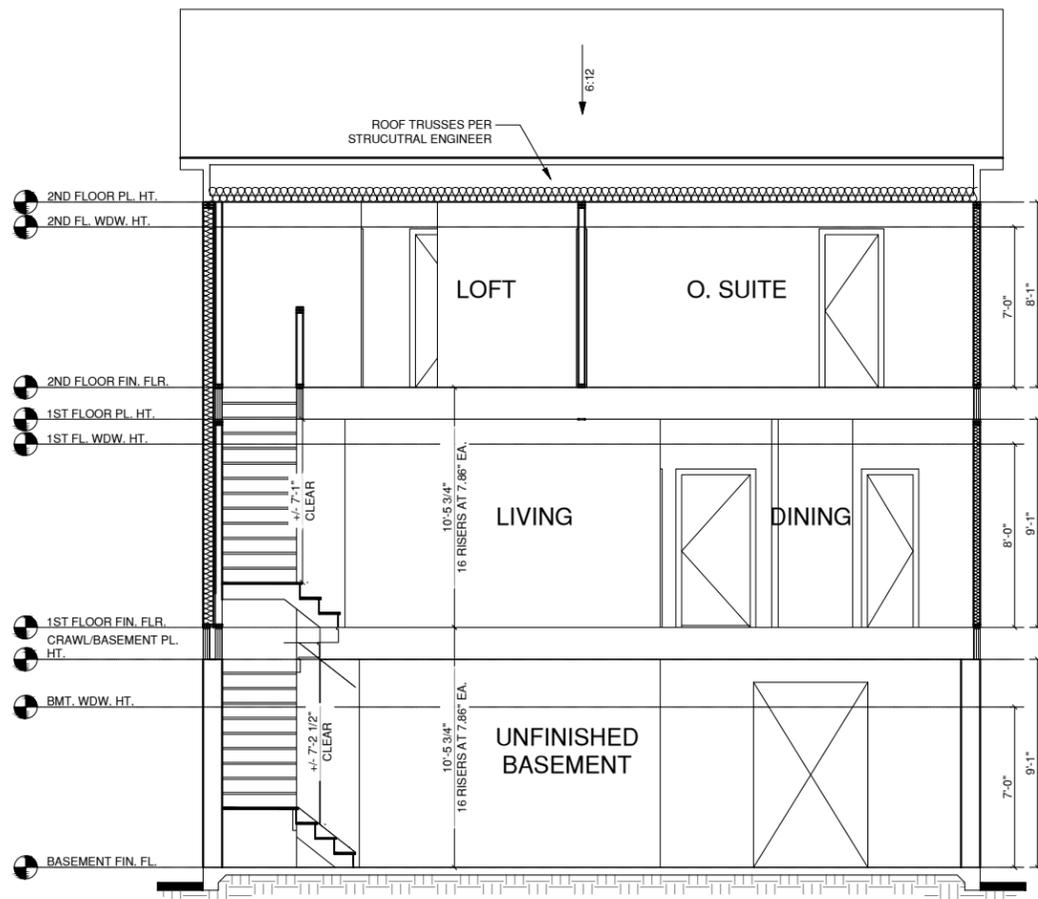
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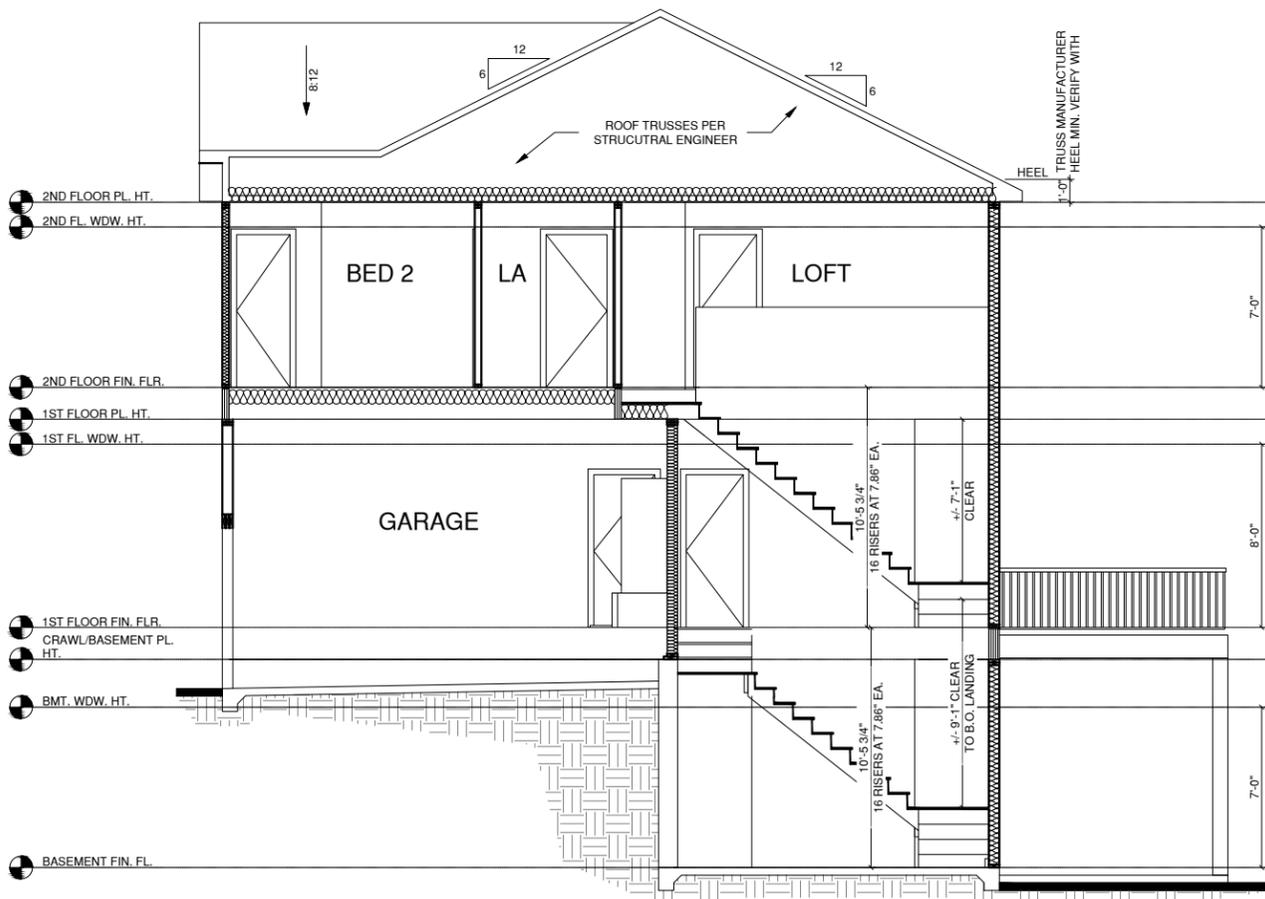
**BUILDING SECTION 2**  
 1/4" = 1'-0" AT 22"X34" LAYOUT = 1'-0" AT 11" X 17" LAYOUT



**BUILDING SECTION 1**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**BUILDING SECTION 2 W/ OPT. BASEMENT**  
 1/4" = 1'-0" AT 22"X34" LAYOUT = 1'-0" AT 11" X 17" LAYOUT



**BUILDING SECTION 1 W/ OPT. BASEMENT**  
 1/4" = 1'-0" AT 22"X34" LAYOUT = 1'-0" AT 11" X 17" LAYOUT

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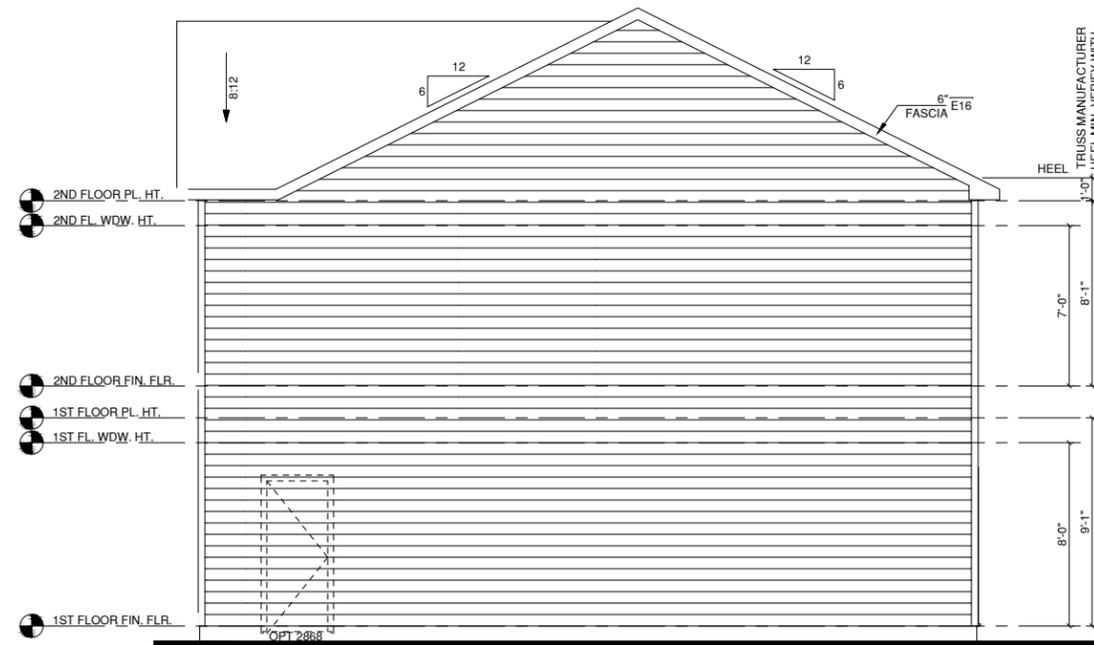
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PRINT DATE:

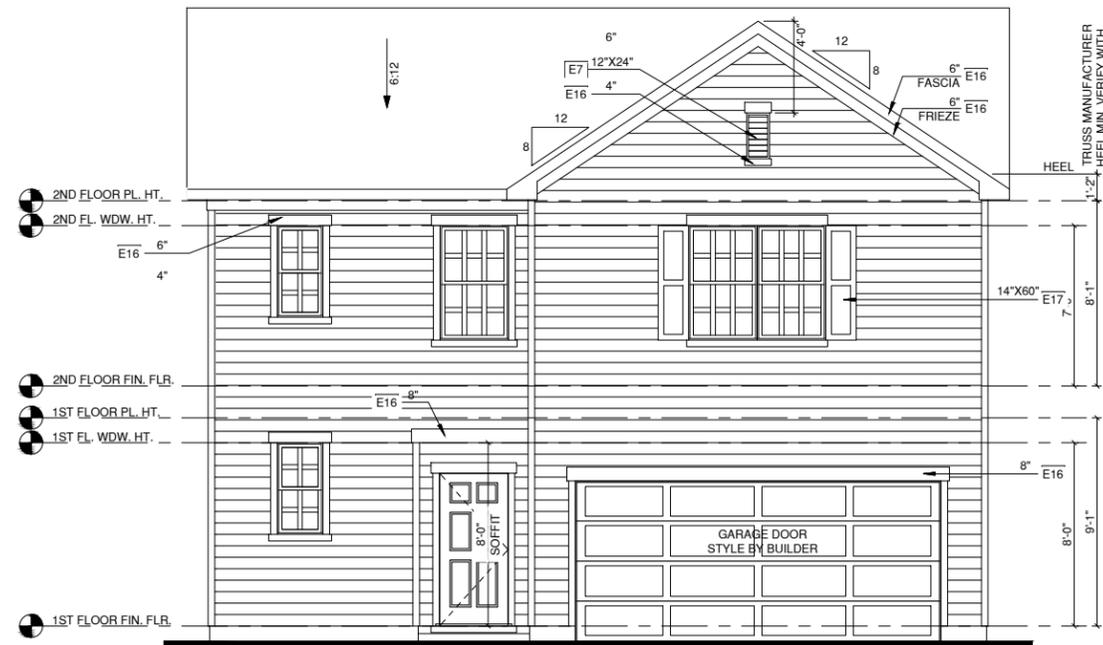
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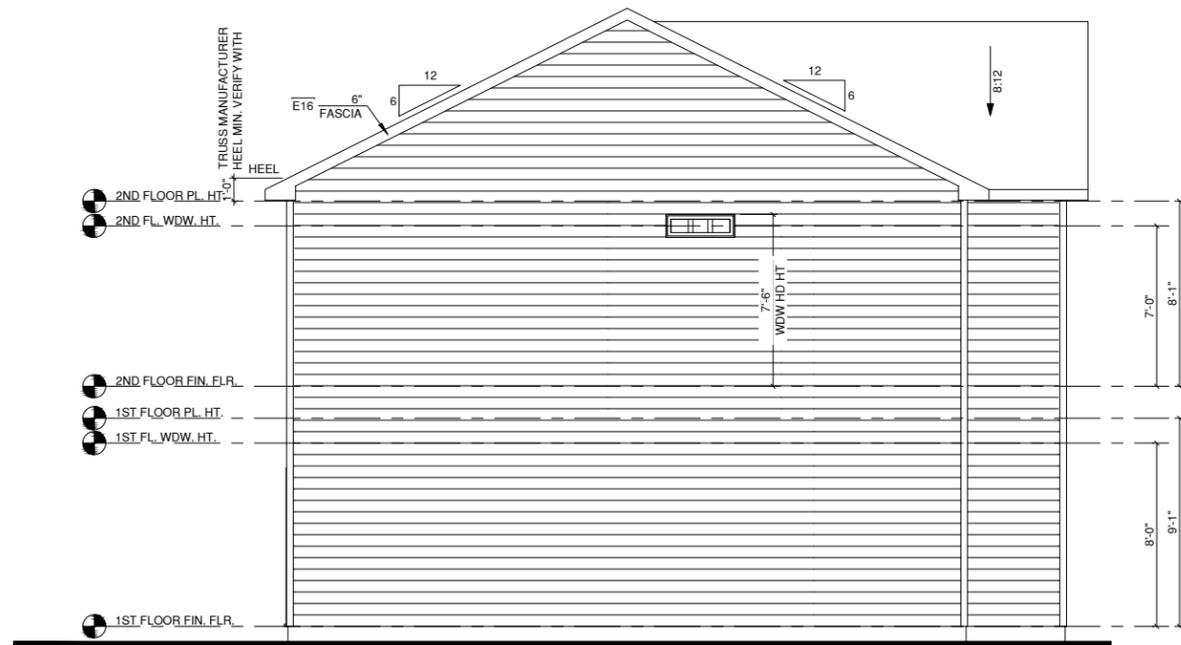
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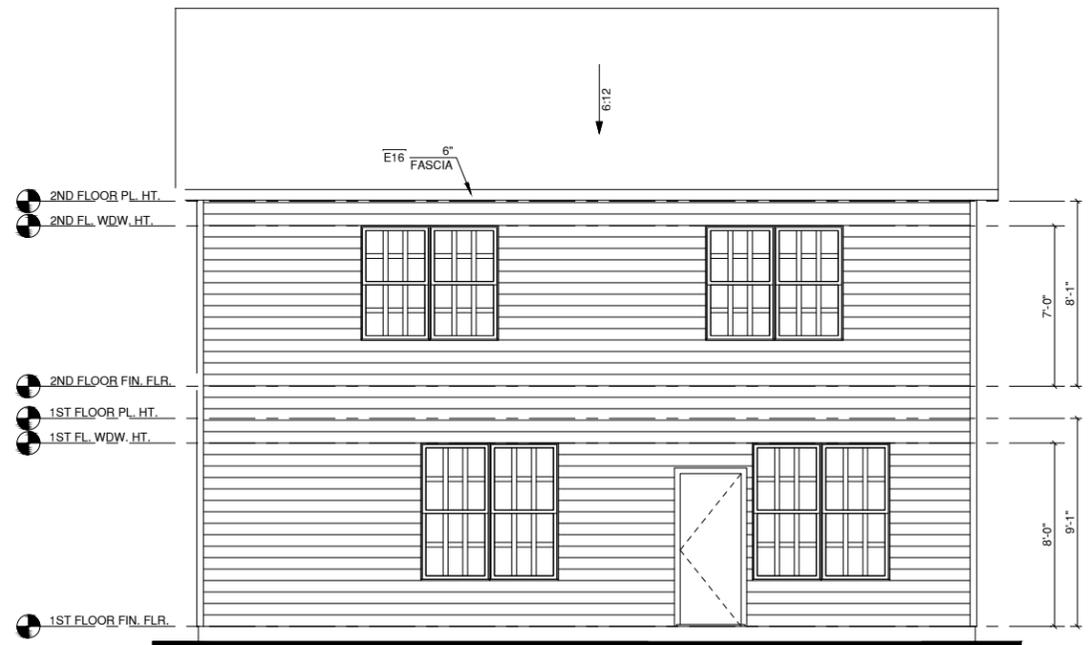
3 RIGHT ELEVATION '1'  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



1 FRONT ELEVATION '1'  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



4 LEFT ELEVATION '1'  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT



2 REAR ELEVATION '1'  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11' X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

- NOTES:**
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
  - WINDOW HEAD HEIGHTS:  
 1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
 3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
  - ROOFING: PITCHED SHINGLES PER BUILDER.
  - WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
  - ENTRY DOOR: AS SELECTED BY BUILDER
  - CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
  - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURERS WRITTEN INSTRUCTIONS.

ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 16" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	PROVIDE GUARDRAIL PER NCR3 SECTION R312

NORTH CAROLINA OFFICE  
 102 FOUNTAIN BROOK CIRCLE  
 SUITE C  
 CARY, NC 27511  
 PHONE: (919) 320-3022

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PROJECT TITLE:

**CAMDEN**

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO.:

SHEET TITLE:

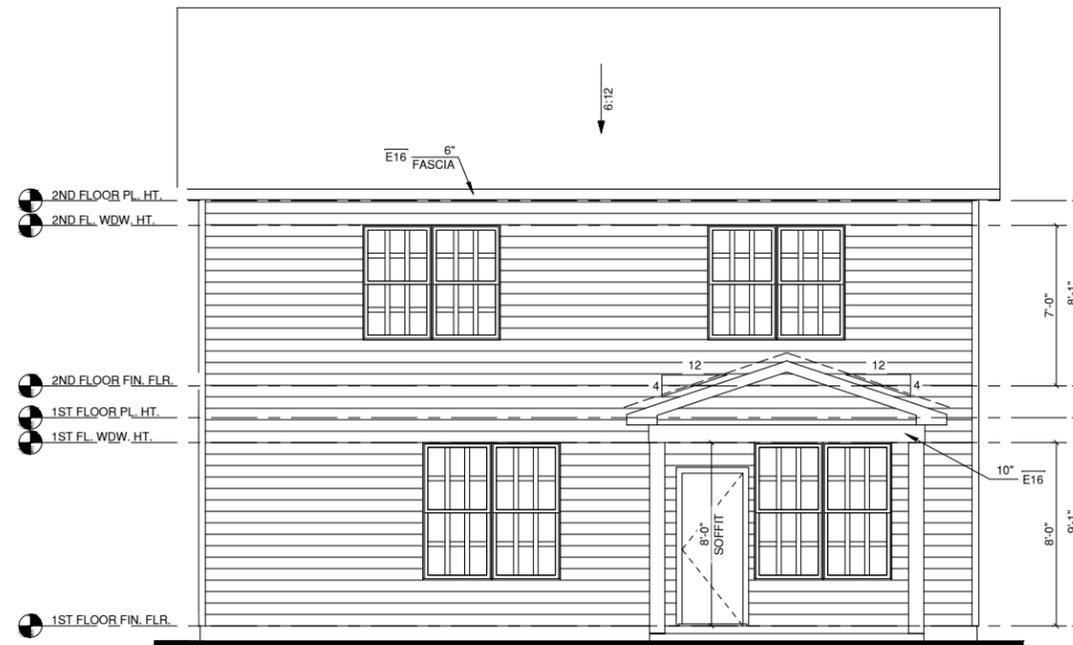
**ELEVATIONS '1'**

PRINT DATE:

4-13-22

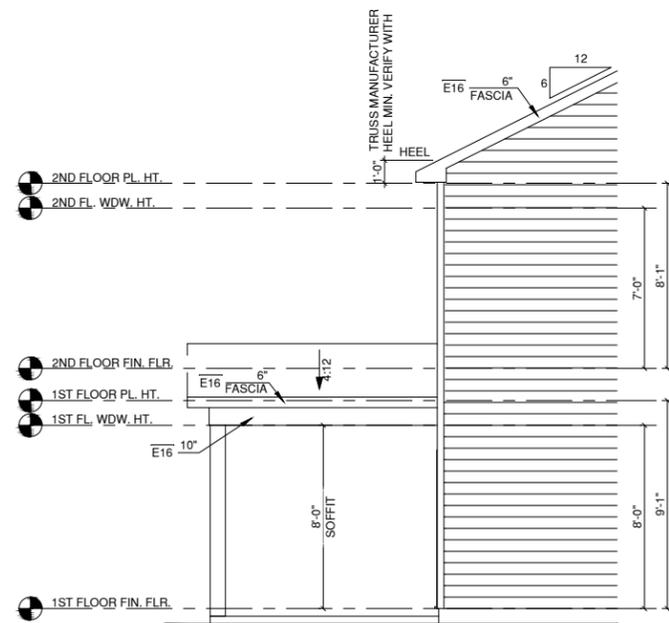
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**A5.1**



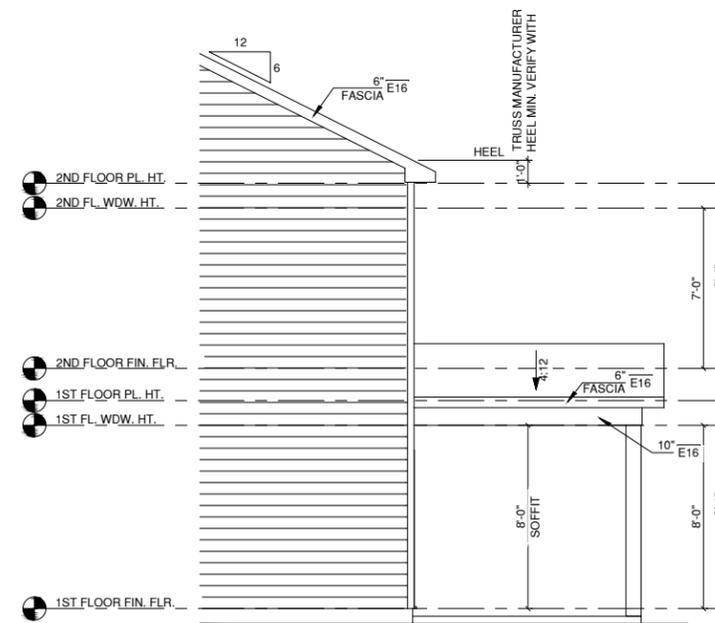
**REAR ELEVATION W/ OPT.  
COVERED PORCH**

① 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**RIGHT ELEVATION W/ OPT.  
COVERED PORCH**

③ 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**LEFT ELEVATION W/ OPT.  
COVERED PORCH**

② 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

**NOTES:**

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

-WINDOW HEAD HEIGHTS:  
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

**ELEVATION KEYNOTE LEGEND**

E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT. SIZE AS NOTED
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 16" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	PROVIDE GUARDRAIL PER NCRC SECTION R312

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PROJECT NO:

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**ELEV OPTIONS**

PRINT DATE:

4-13-22

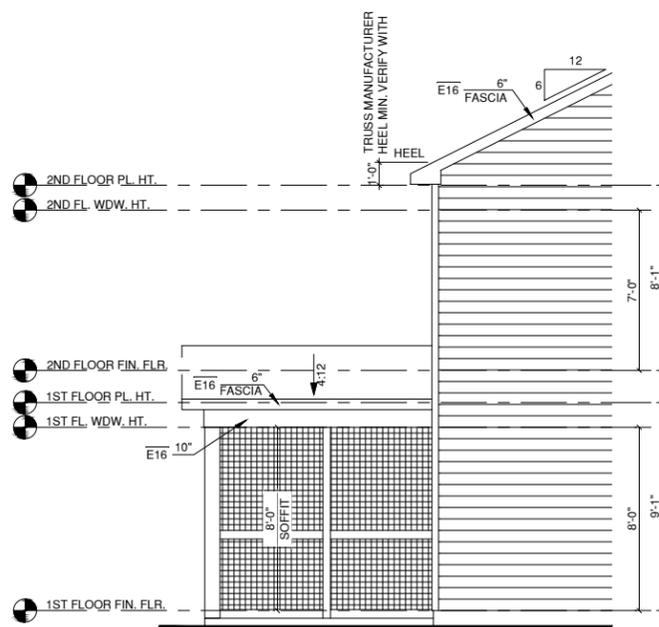
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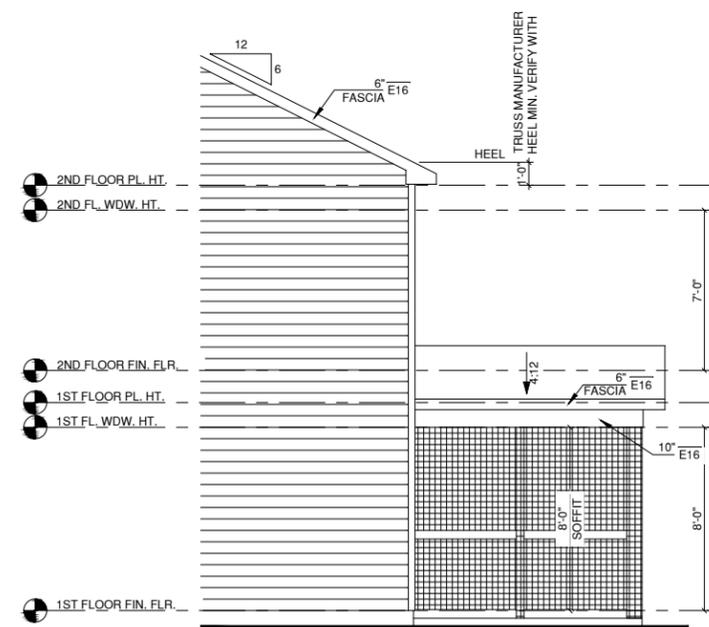
**REAR ELEVATION W/ OPT. SCREENED PORCH**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**RIGHT ELEVATION W/ OPT. SCREENED PORCH**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**LEFT ELEVATION W/ OPT. SCREENED PORCH**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

**NOTES:**

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

-WINDOW HEAD HEIGHTS:  
1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

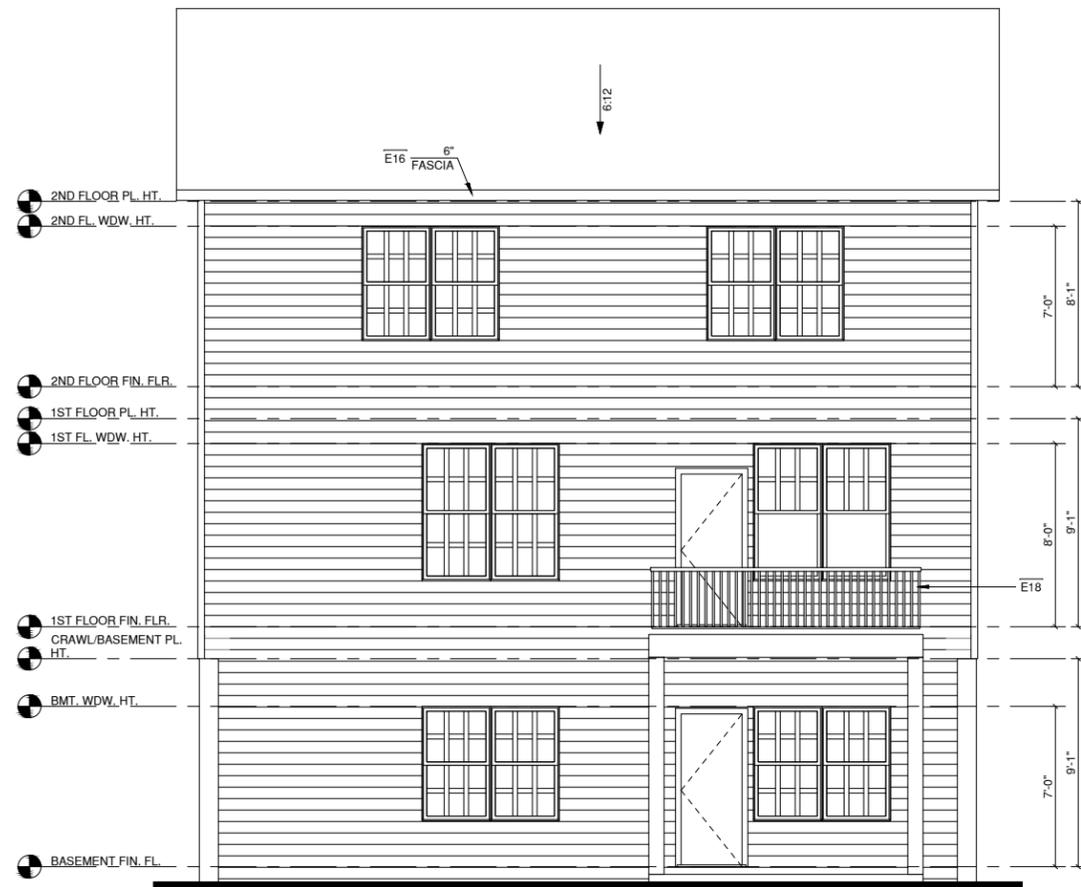
-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURERS WRITTEN INSTRUCTIONS.

**ELEVATION KEYNOTE LEGEND**

E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT. SIZE AS NOTED
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
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E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	PROVIDE GUARDRAIL PER NCRC SECTION R312



### REAR ELEVATION W/ OPT. BASEMENT

1 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

#### NOTES:

-GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.

#### -WINDOW HEAD HEIGHTS:

1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

-ROOFING: PITCHED SHINGLES PER BUILDER.

-WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS

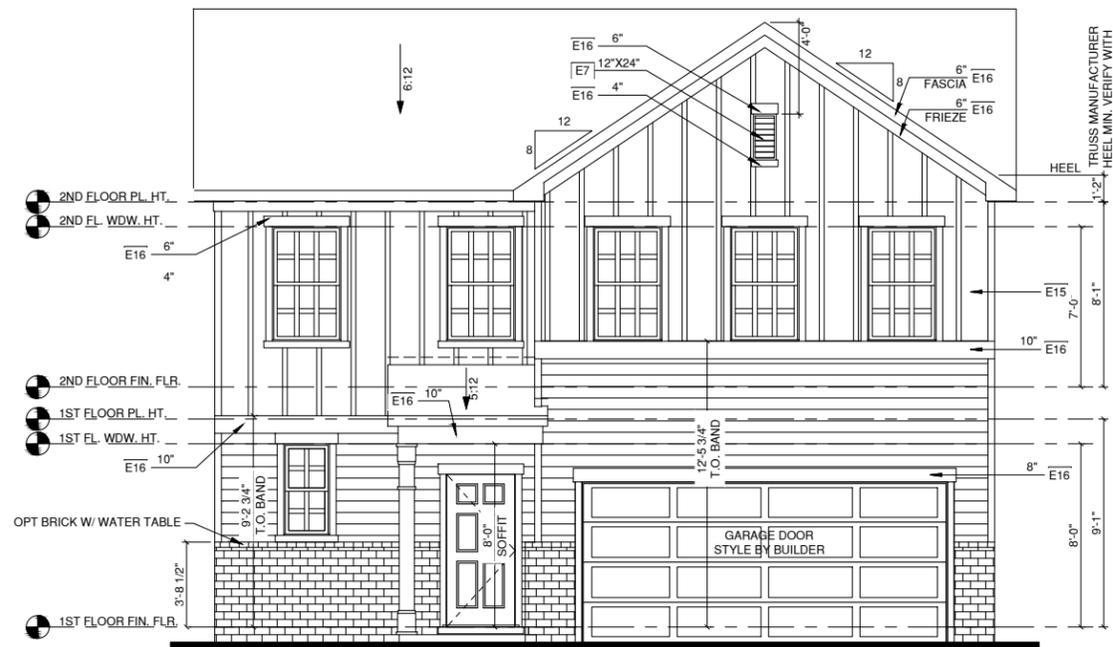
-ENTRY DOOR: AS SELECTED BY BUILDER

-CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.

-ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

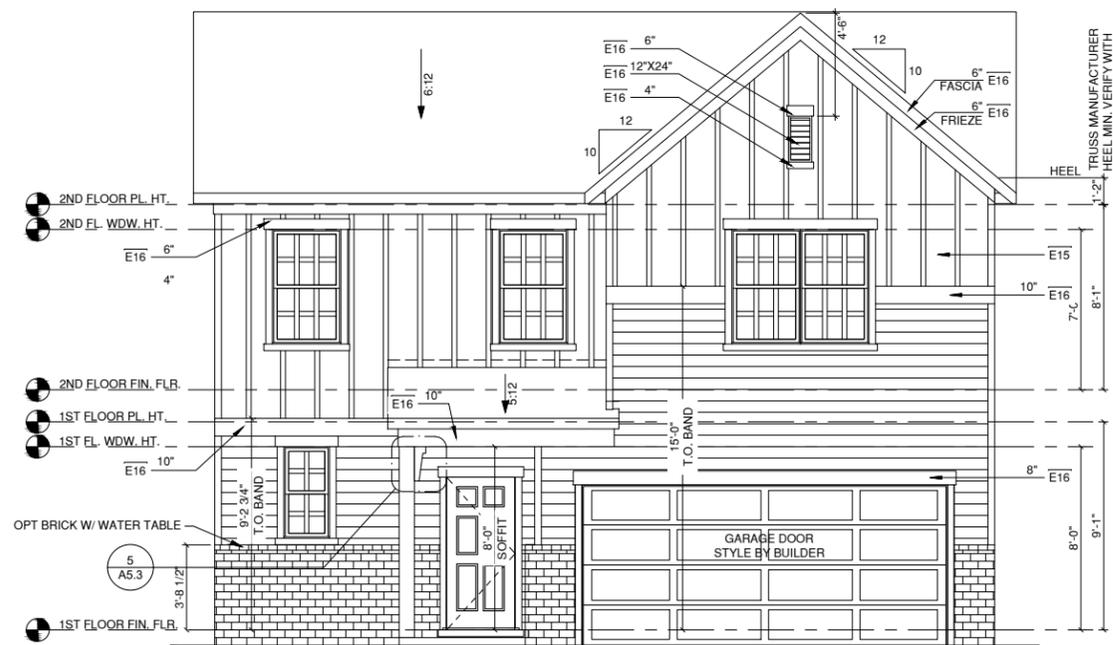
#### ELEVATION KEYNOTE LEGEND

E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT. SIZE AS NOTED
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E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	PROVIDE GUARDRAIL PER NCRC SECTION R312



### ELEV 2 W/ OPT. PARTIAL BRICK

2 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



### ELEV 3 W/ OPT. PARTIAL BRICK

3 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

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102 FOUNTAIN BROOK CIRCLE  
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PROJECT NO:

SHEET TITLE:

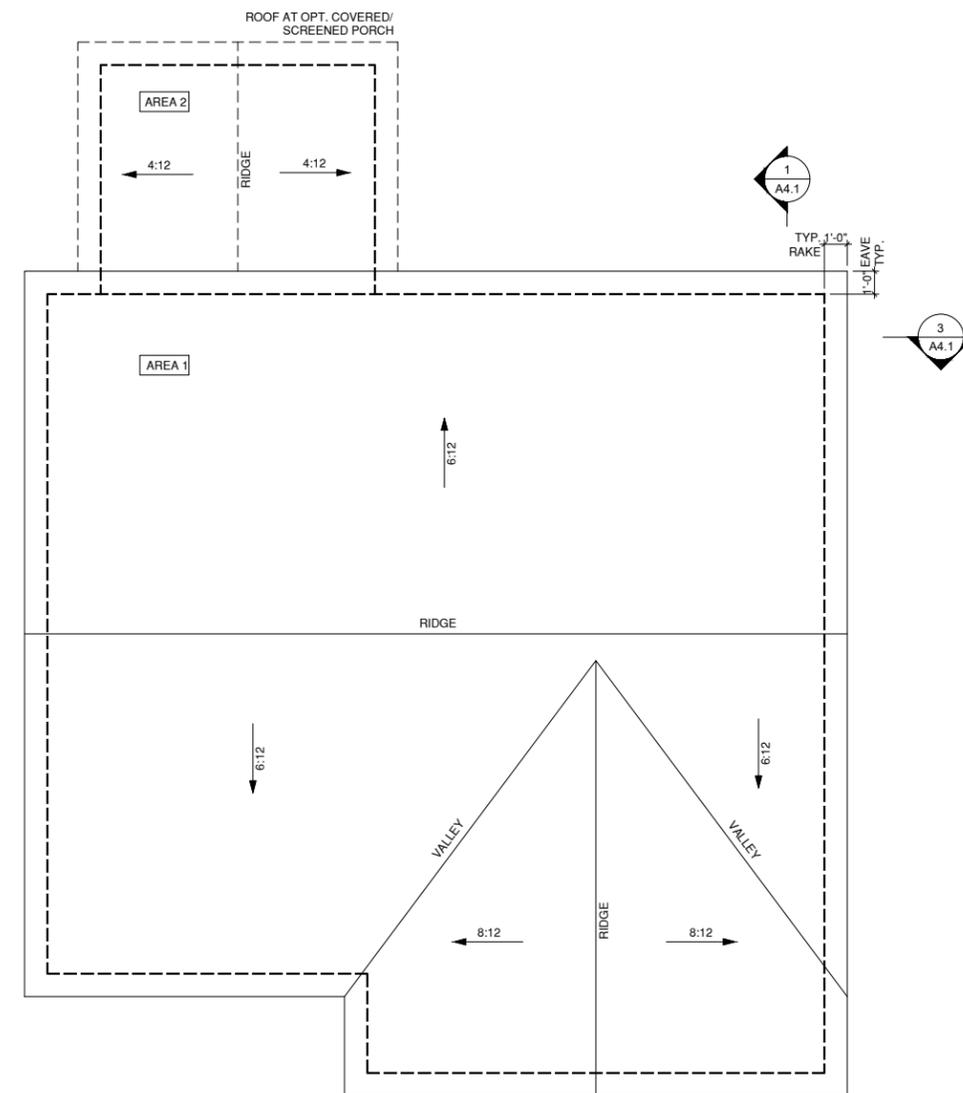
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PRINT DATE:

4-13-22

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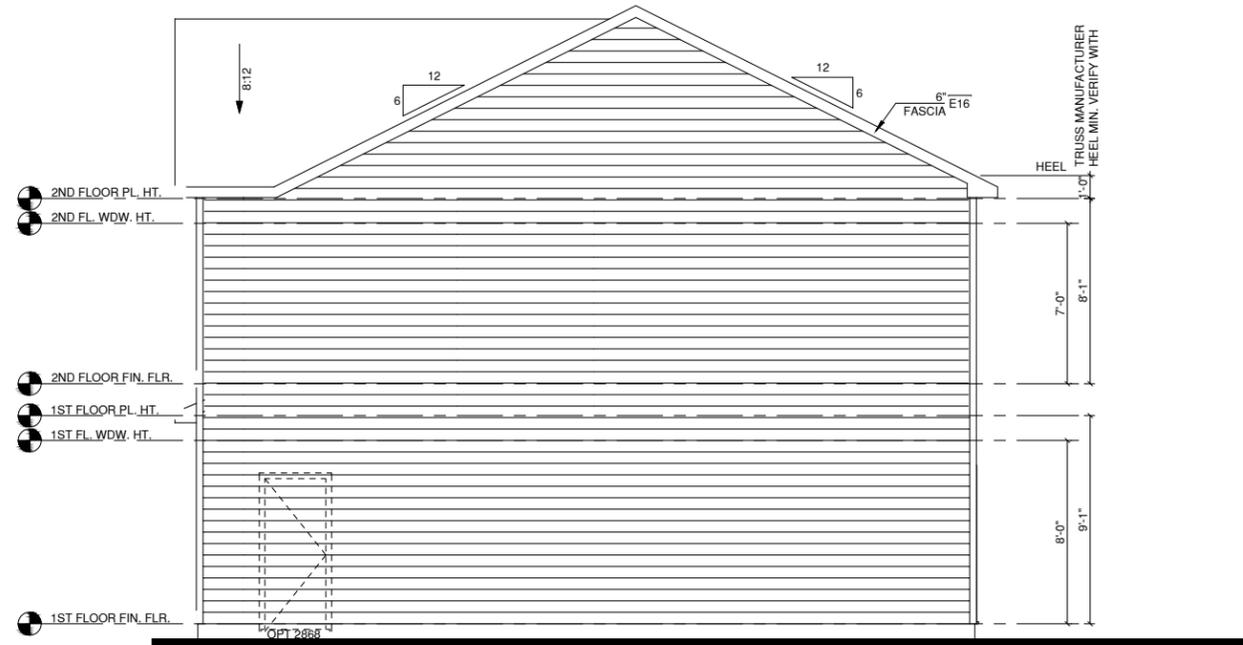
**A5.1.3**



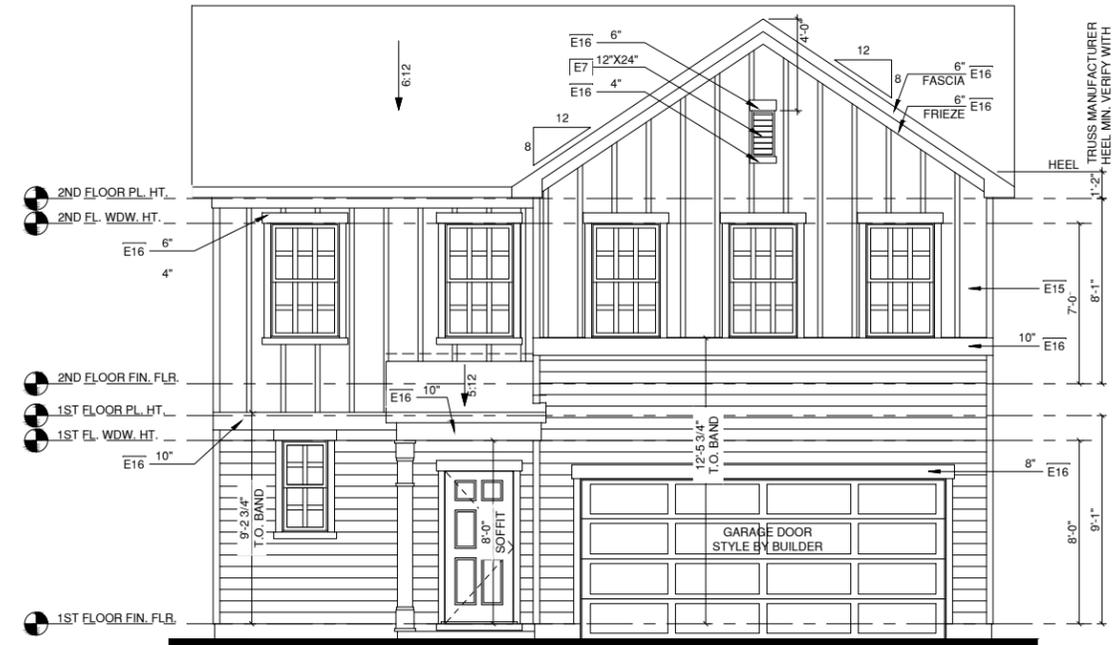
**ROOF PLAN '1'**  
1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

1/150 RATIO:	1/300 RATIO:
<p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>	<p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING 1-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>
<p><b>NOTES:</b></p> <ul style="list-style-type: none"> <li>□ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.</li> <li>□ DASHED LINES INDICATE WALL BELOW.</li> <li>□ LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.</li> <li>□ PITCHED ROOFS AS NOTED.</li> <li>□ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.</li> <li>□ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.</li> </ul>	

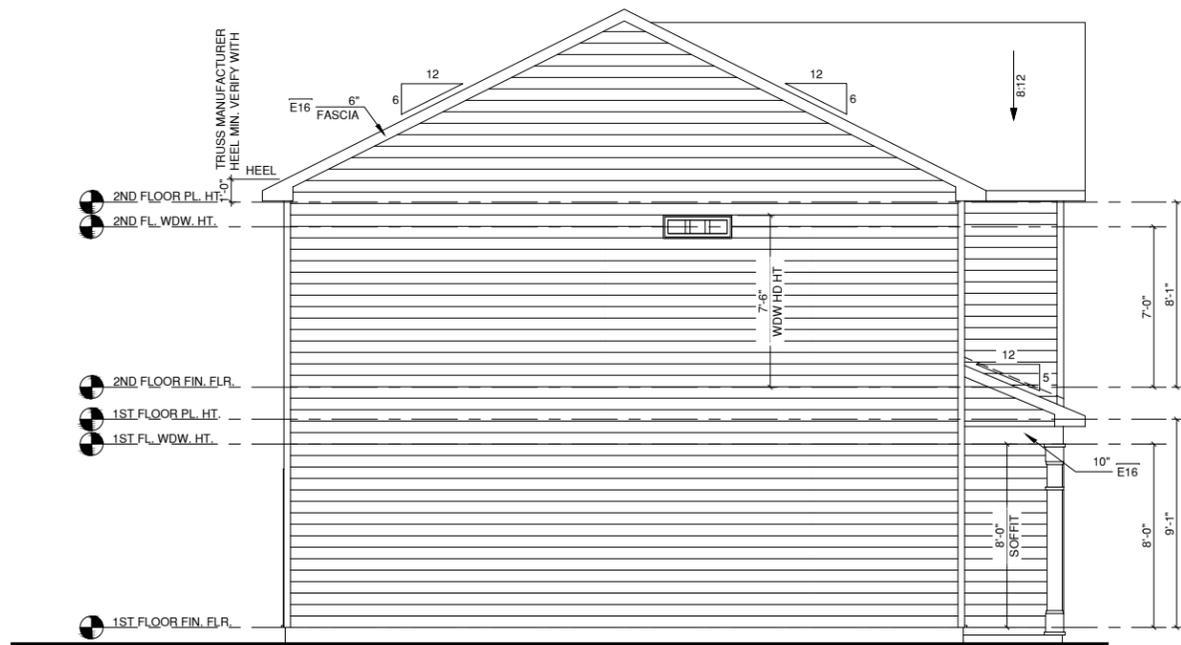
ROOF VENT CALC. ELEV. 'A'			
Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1095 SF	262.88 in <sup>2</sup>	525.76 in <sup>2</sup>
AREA 2	120 SF	28.80 in <sup>2</sup>	57.60 in <sup>2</sup>



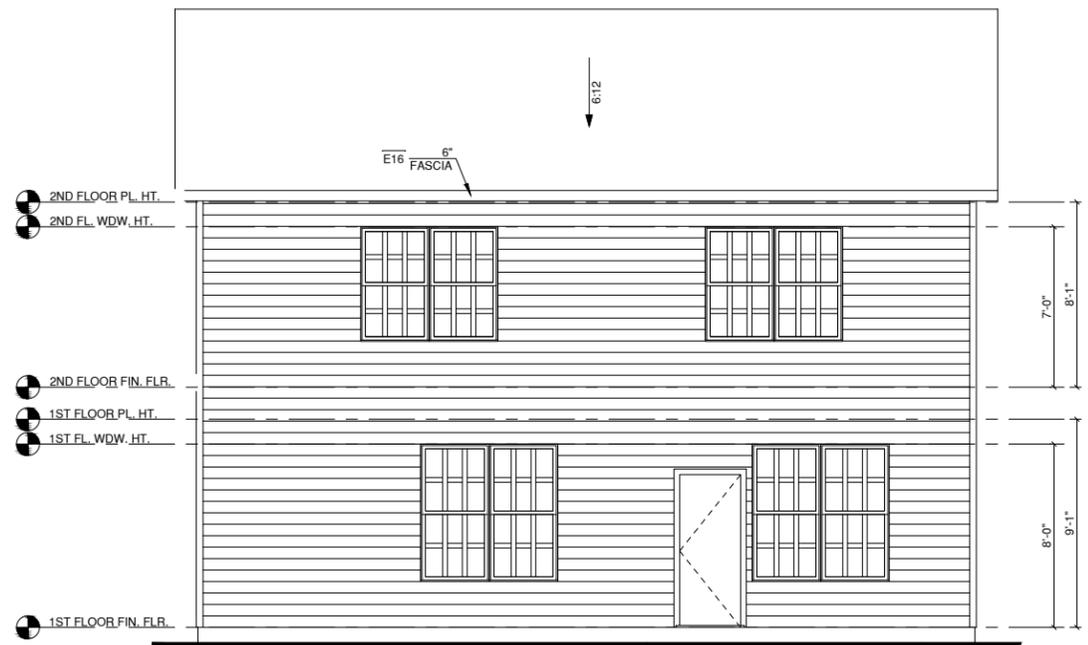
3 RIGHT ELEVATION '2'  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



1 FRONT ELEVATION '2'  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



4 LEFT ELEVATION '2'  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



2 REAR ELEVATION '2'  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

- NOTES:**
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
  - WINDOW HEAD HEIGHTS:  
 1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
 3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
  - ROOFING: PITCHED SHINGLES PER BUILDER.
  - WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
  - ENTRY DOOR: AS SELECTED BY BUILDER
  - CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
  - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
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E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	PROVIDE GUARDRAIL PER NCRG SECTION R312

NORTH CAROLINA OFFICE  
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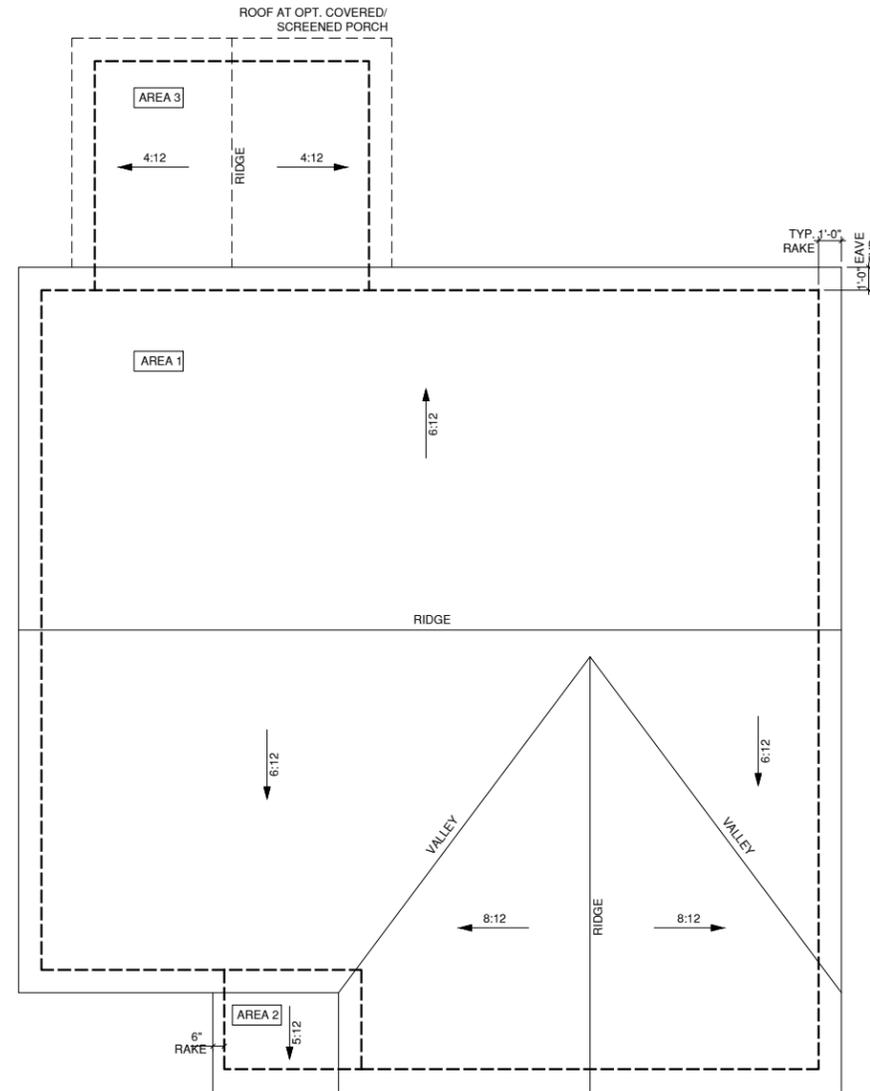
**ELEVATIONS '2'**

PRINT DATE:

4-13-22

SHEET NO:

**A5.2**



**ROOF PLAN '2'**  
 ① 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

1/150 RATIO:	1/300 RATIO:
<p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>	<p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING 1-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>
<b>NOTES:</b>	
<ul style="list-style-type: none"> <li>□ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.</li> <li>□ DASHED LINES INDICATE WALL BELOW.</li> <li>□ LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.</li> <li>□ PITCHED ROOFS AS NOTED.</li> </ul>	<ul style="list-style-type: none"> <li>□ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.</li> <li>□ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.</li> </ul>

ROOF VENT CALC. ELEV. 'B'			
Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1095 SF	262.88 in <sup>2</sup>	525.76 in <sup>2</sup>
AREA 2	26 SF	6.24 in <sup>2</sup>	12.48 in <sup>2</sup>
AREA 3	120 SF	28.80 in <sup>2</sup>	57.60 in <sup>2</sup>

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**ROOF PLAN '2'**

PRINT DATE:

4-13-22

SHEET NO:

**A5.2.1**

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 102 FOUNTAIN BROOK CIRCLE  
 SUITE C  
 CARY, NC 27511  
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**QUACKENBUSH HOMES**

PROJECT NO.:

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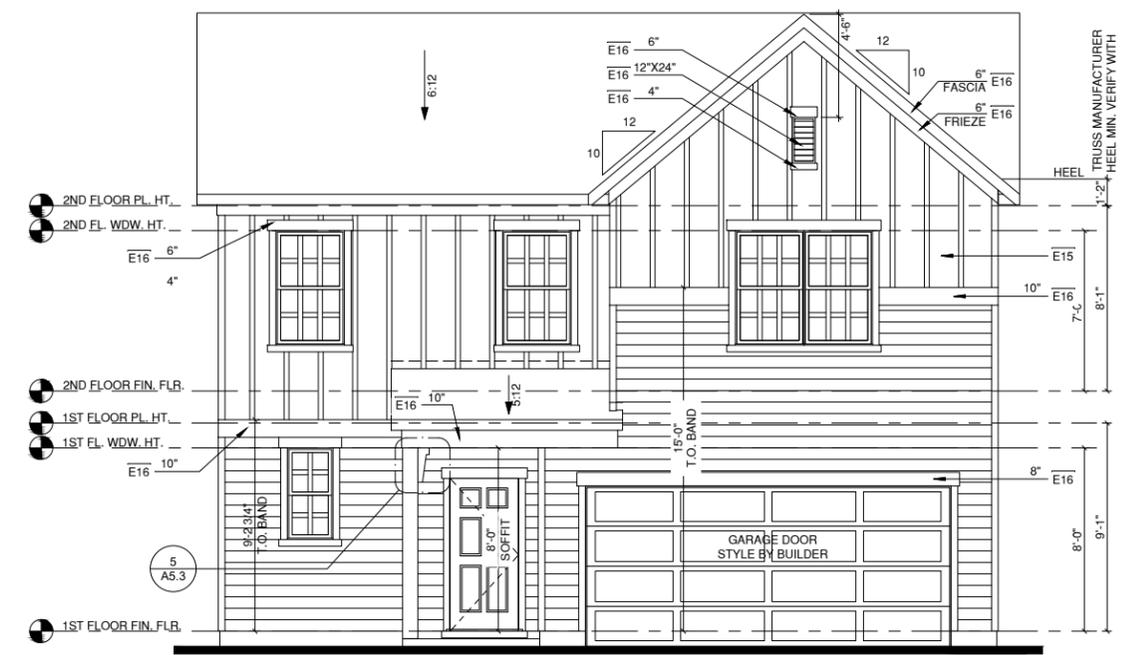
**ELEVATIONS '3'**

PRINT DATE:

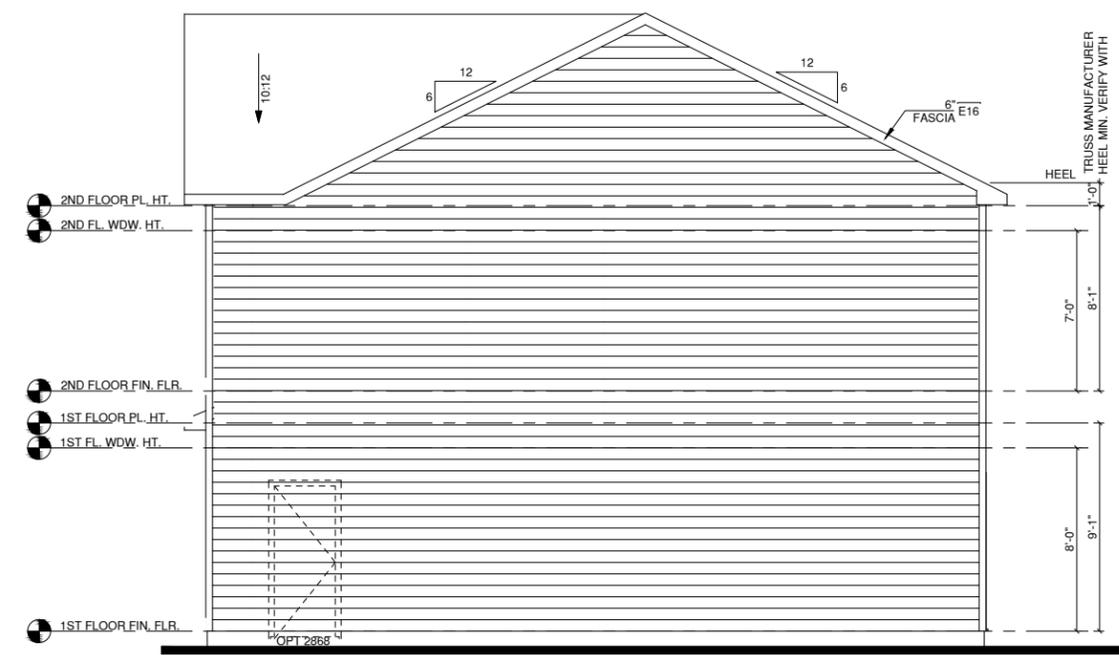
4-13-22

SHEET NO.:

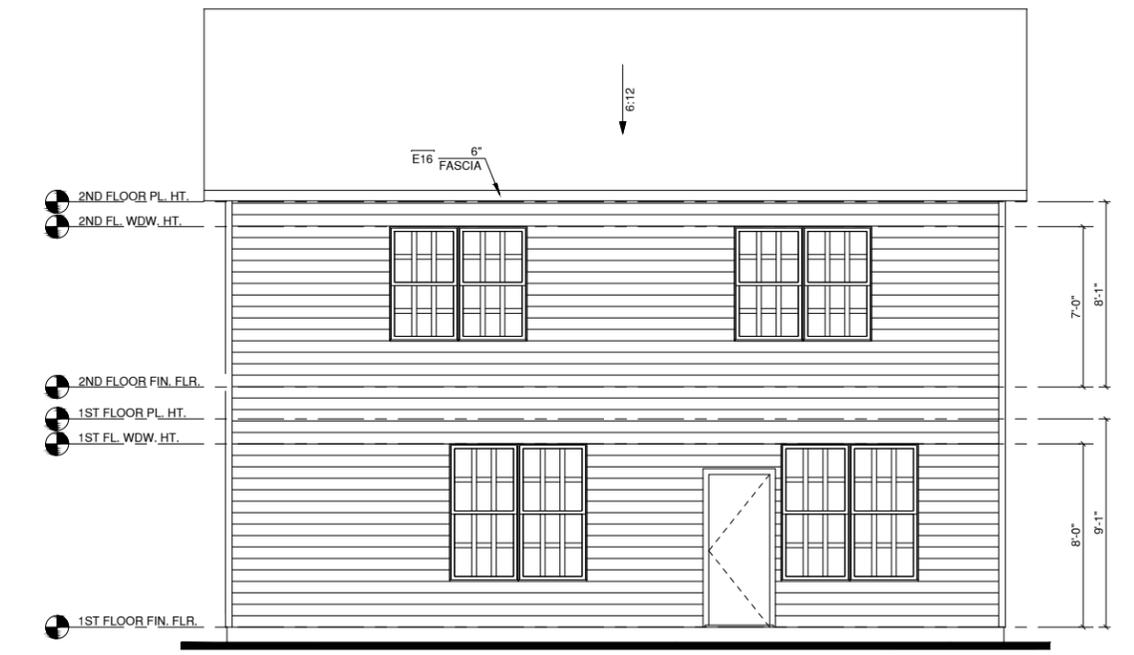
**A5.3**



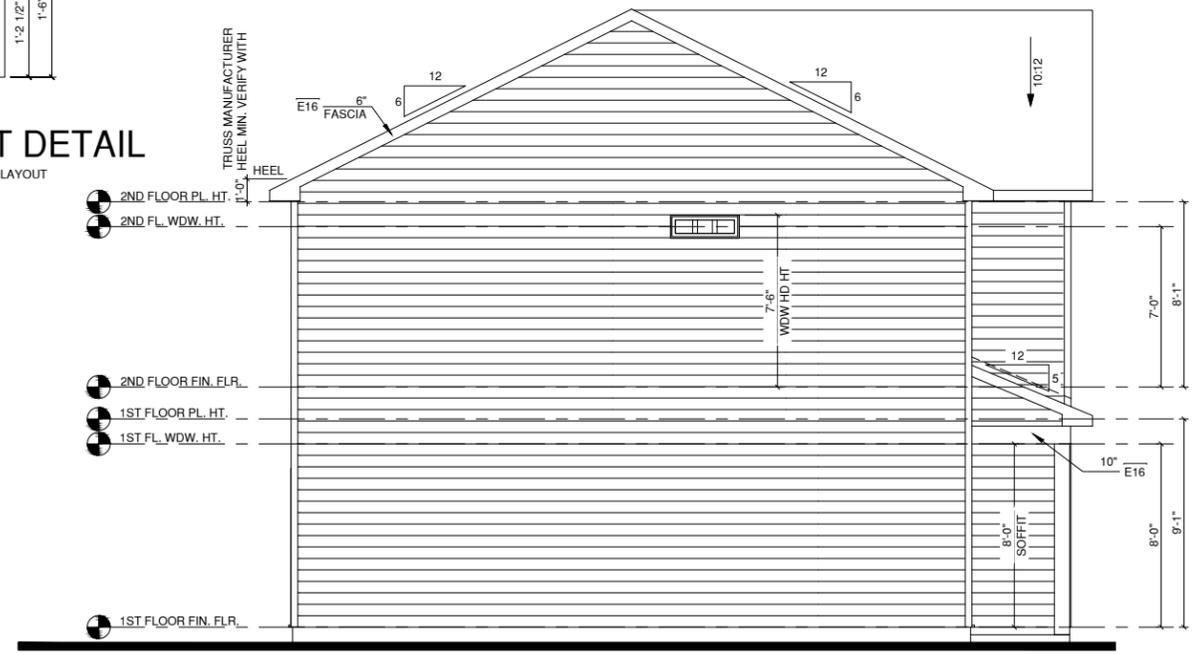
**FRONT ELEVATION '3'**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



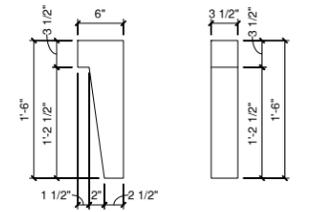
**RIGHT ELEVATION '3'**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**REAR ELEVATION '3'**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**LEFT ELEVATION '3'**  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

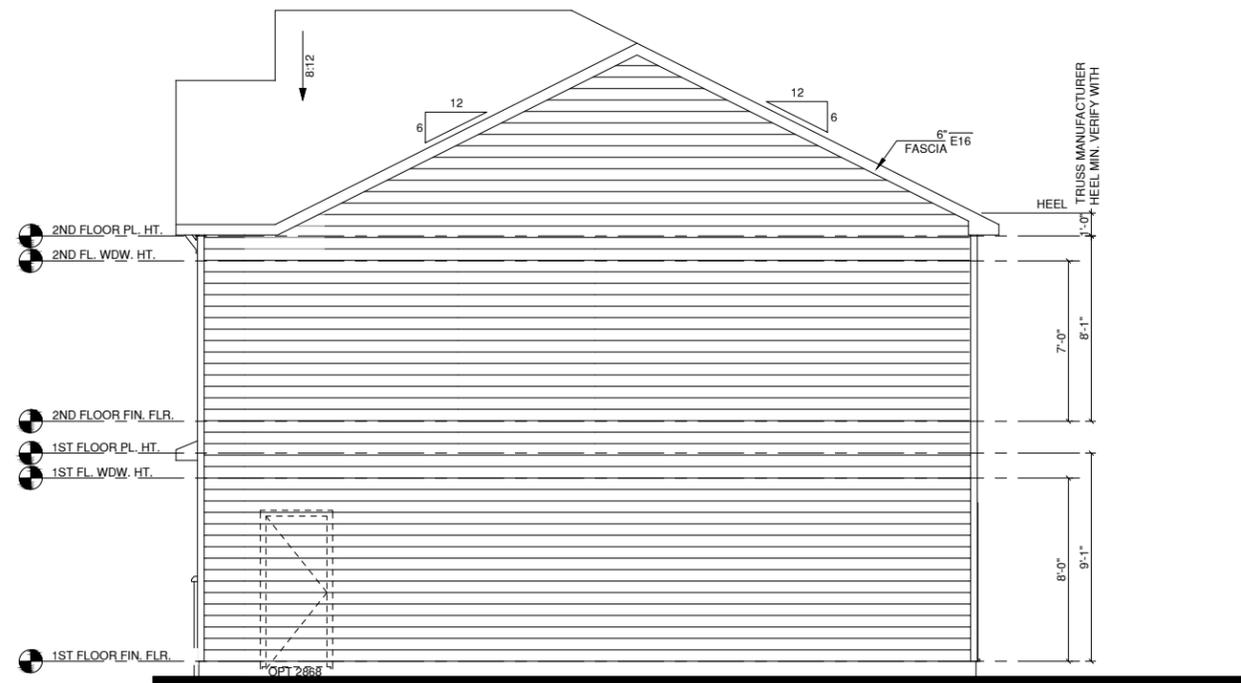


**COLUMN BRACKET DETAIL**  
 1" = 1'-0" AT 22"X34" LAYOUT 1/2" = 1'-0" AT 11" X 17" LAYOUT

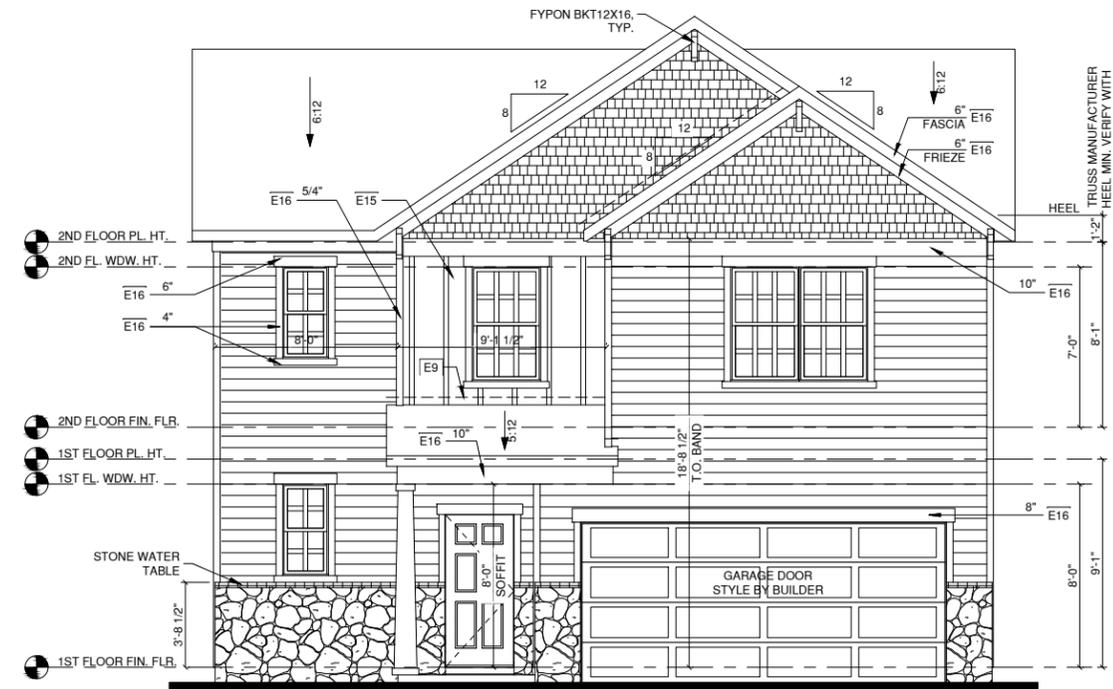
ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
E12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS
E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 16" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	PROVIDE GUARDRAIL PER NCR SECTION R312.2

**NOTES:**

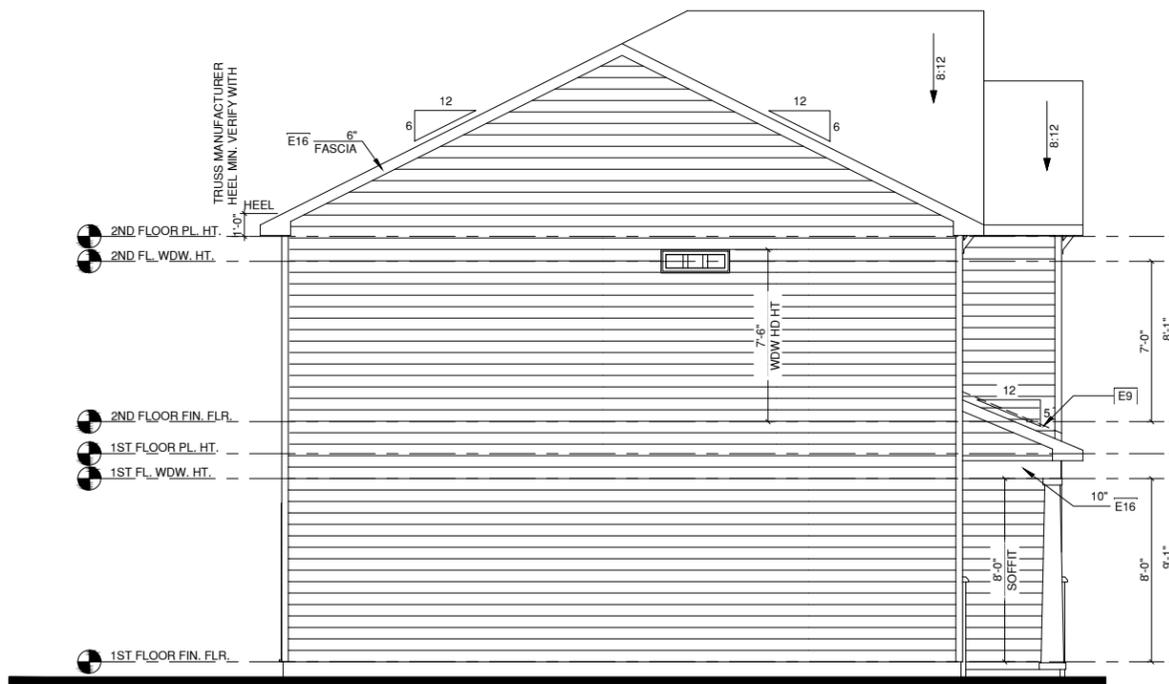
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:  
 1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
 3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER BUILDER.
- WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY BUILDER
- CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
- ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



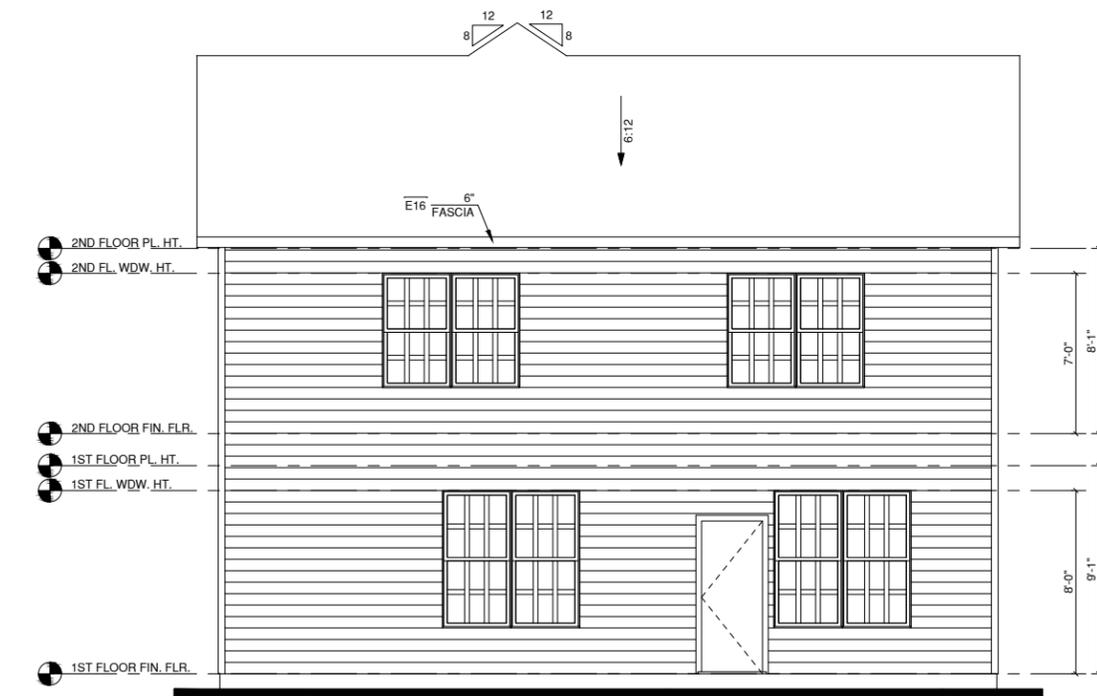
**RIGHT ELEVATION '4'**  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**FRONT ELEVATION '4'**  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**LEFT ELEVATION '4'**  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**REAR ELEVATION '4'**  
 1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH THE 2012 IRC SECTION R312.2.

- NOTES:**
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
  - WINDOW HEAD HEIGHTS:  
 1ST FLOOR = 8'-0" U.N.O. ON ELEVATIONS  
 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS  
 3RD FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
  - ROOFING: PITCHED SHINGLES PER BUILDER.
  - WINDOWS: MANUFACTURER PER BUILDER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
  - ENTRY DOOR: AS SELECTED BY BUILDER
  - CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
  - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

ELEVATION KEYNOTE LEGEND	
E1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER, HEIGHT AS NOTED
E7	FYPON OR EQUIVALENT LOUVERED VENT, SIZE AS NOTED
E9	CORROSION RESISTANT ROOF TO WALL FLASHING, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS
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E15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 16" O.C. (VINYL BOARD AND BATTEN SIDING)
E16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
E17	FALSE WOOD/VINYL SHUTTERS, TYPE AS SHOWN, SIZE AS NOTED
E18	PROVIDE GUARDRAIL PER NCR SECTION R312

NORTH CAROLINA OFFICE  
 102 FOUNTAIN BROOK CIRCLE  
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NO.	DATE	REVISION

PROJECT TITLE:  
**CAMDEN**

**CONSTRUCTION SET**

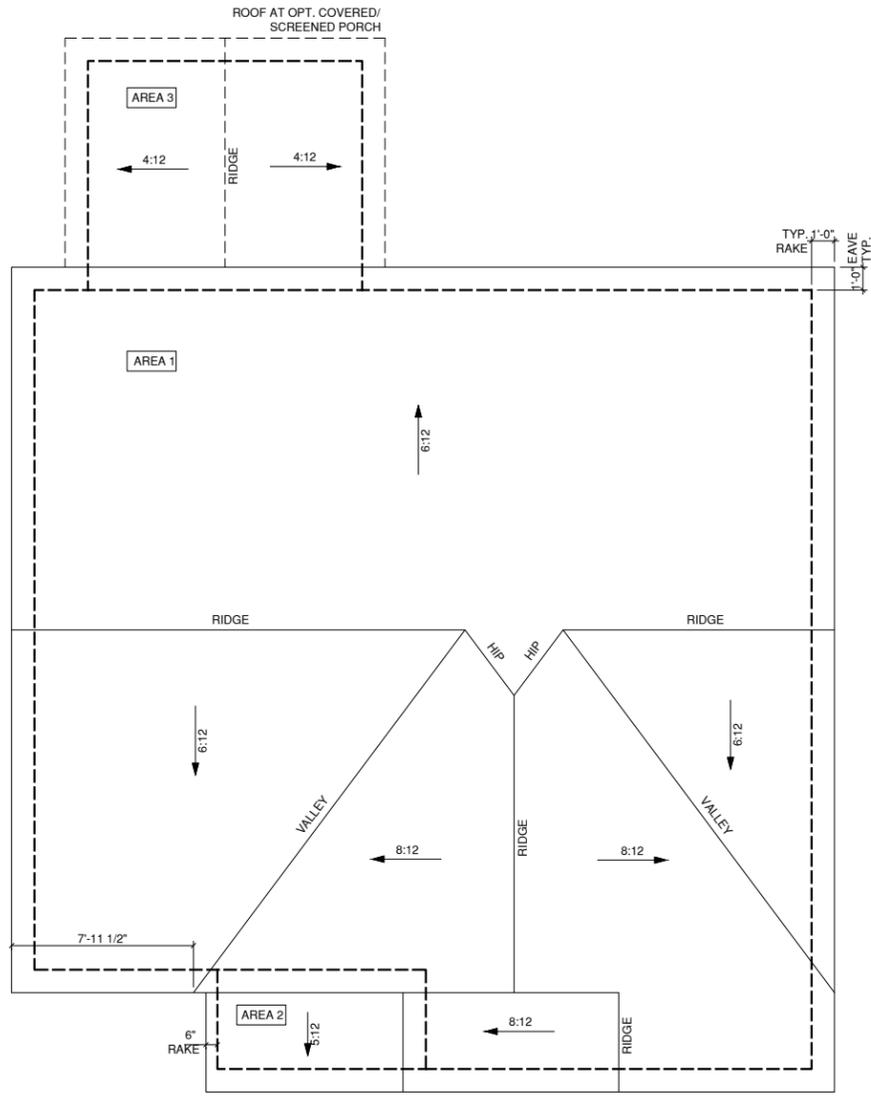
CLIENTS NAME:  
 QUACKENBUSH HOMES

PROJECT NO:  
 SHEET TITLE:  
**ELEVATIONS '4'**

PRINT DATE:  
 4-13-22  
 SHEET NO:  
**A5.4**

1/150 RATIO:	1/300 RATIO:
<p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>	<p>AS AN ALTERNATE TO THE 1/150 RATIO LISTED, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER IS HAVING A TRANSMISSION RATE NOT EXCEEDING I-PERM INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.</p> <p>GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED BY OWNER. VERIFY WITH MANUFACTURER OF HIGH AND LOW VENTS TO BE USED FOR MINIMUM CALCULATED VENTS REQUIRED. THE REQUIRED VENTILATION SHALL BE MAINTAINED. PROVIDE INSULATION STOP SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED BY THE BUILDING OFFICIAL.</p> <p>ALL OVERLAP FRAMED ROOF AREAS SHALL HAVE OPENINGS BETWEEN THE ADJACENT ATTICS IN THE ROOF SHEATHING (AS ALLOWED BY THE STRUCTURAL ENGINEER) TO ALLOW PASSAGE AND ATTIC VENTILATION BETWEEN THE TWO OR ISOLATED ATTIC SPACES SHALL BE VENTED INDEPENDENTLY TO CBC REQUIREMENTS.</p> <p>PER DEVELOPER, AT ALL CANTILEVERED FLOORS, CANTILEVERED DECORATIVE PROJECTIONS, AND ANY DOUBLE FRAMING PROJECTIONS THAT ARE SEPARATED FROM THE VENTING CALCULATIONS SHOWN ABOVE, PROVIDE A CONTINUOUS 2" CORROSION RESISTANT SOFFIT VENT AT UNDERSIDE OF FRAMED ELEMENT.</p>
<b>NOTES:</b>	
<ul style="list-style-type: none"> <li>□ ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.</li> <li>□ DASHED LINES INDICATE WALL BELOW. LOCATE GUTTER AND DOWNSPOUTS PER BUILDER.</li> <li>□ PITCHED ROOFS AS NOTED.</li> </ul>	<ul style="list-style-type: none"> <li>□ TRUSS MANUFACTURER SHALL SUBMIT STRUCTURAL CALCS AND SHOP DRAWING TO THE BUILDER'S GENERAL CONTRACTOR AND BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATIONS.</li> <li>□ ALL PLUMBING VENTS SHALL BE COMBINED INTO A MINIMUM AMOUNT OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE MAIN RIDGE.</li> </ul>

ROOF VENT CALC. ELEV. 'D'			
Name	Area	1/300 RATIO AT HIGH & LOW	1/150 RATIO AT HIGH & LOW
AREA 1	1082 SF	259.63 in <sup>2</sup>	519.26 in <sup>2</sup>
AREA 2	40 SF	9.49 in <sup>2</sup>	18.98 in <sup>2</sup>
AREA 3	120 SF	28.80 in <sup>2</sup>	57.60 in <sup>2</sup>



**1** ROOF PLAN '4'  
 1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

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NO.	DATE	REVISION

PROJECT TITLE:  
**CAMDEN**

**CONSTRUCTION SET**

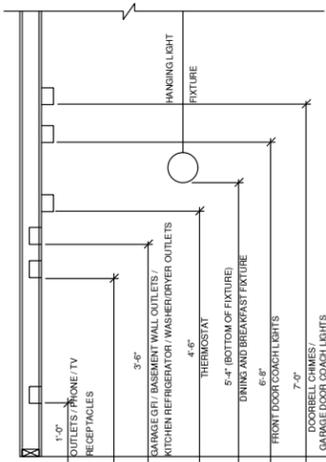
CLIENTS NAME:  
**QUACKENBUSH HOMES**

PROJECT NO:

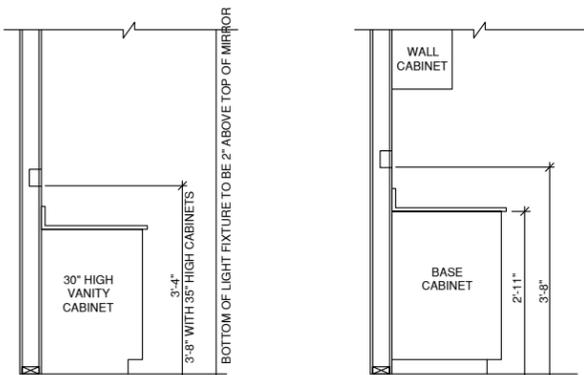
SHEET TITLE:  
**ROOF PLAN '4'**

PRINT DATE:  
 4-13-22

SHEET NO:  
**A5.4.1**



**STANDARD ELECTRICAL BOX HEIGHTS**



**SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS**

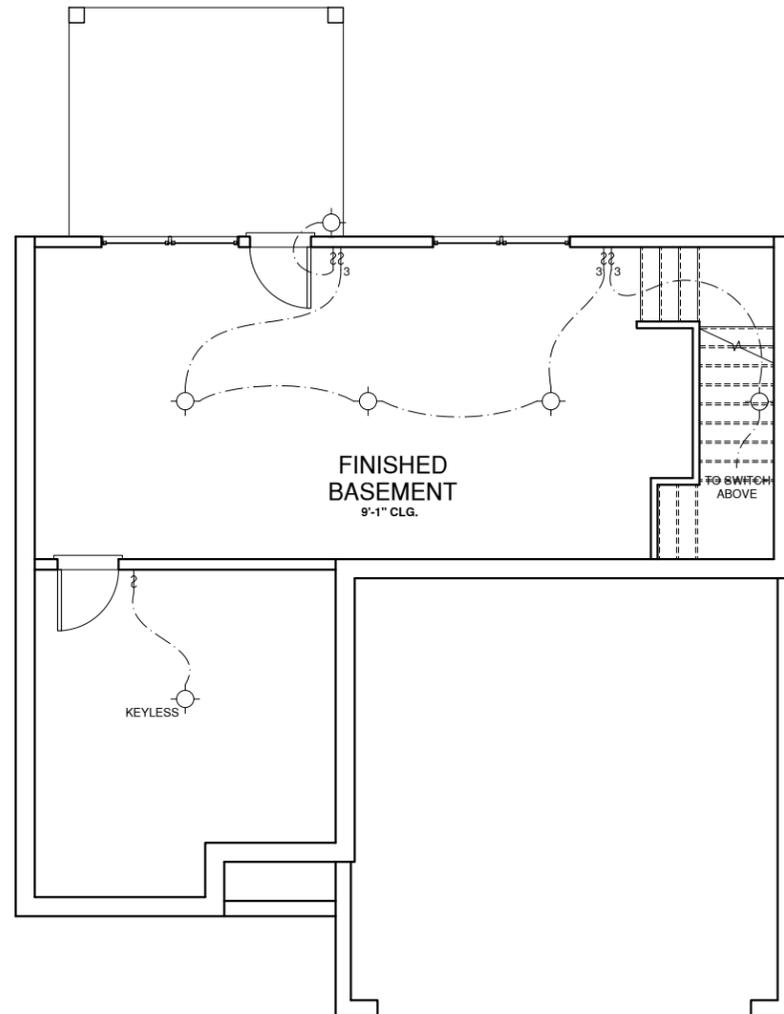
**SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS**

**NOTES:**

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS
- FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAINING TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATON DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

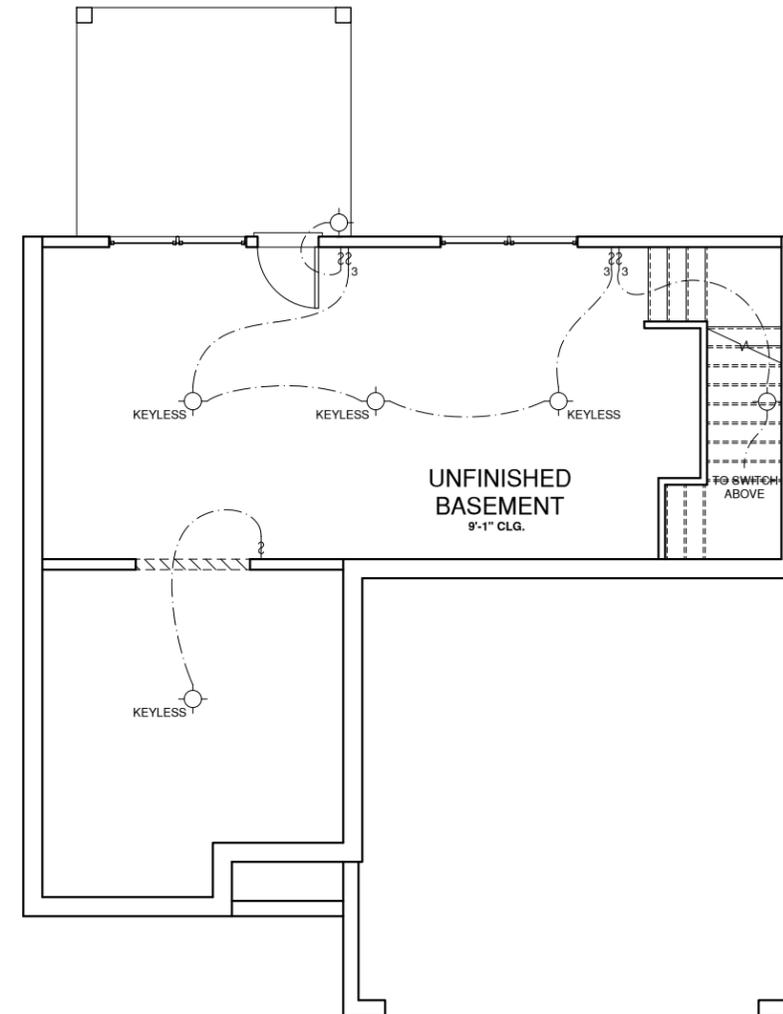
**LEGEND:**

⊕	DUPLEX OUTLET	⊙	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
⊕WP/GFI	WEATHERPROOF GFI DUPLEX OUTLET	⊙	WALL MOUNTED INCANDESCENT LIGHT FIXTURE
⊕GFI	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET	⊙	RECESSED INCANDESCENT LIGHT FIXTURE (VP) = VAPOR PROOF
⊕	HALF-SWITCHED DUPLEX OUTLET	⊙	EXHAUST FAN (VENT TO EXTERIOR)
⊕ 220V	220 VOLT OUTLET	⊙	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
⊕	REINFORCED JUNCTION BOX	⊙	FLUORESCENT LIGHT FIXTURE
\$	WALL SWITCH	⊙	TECH HUB SYSTEM
\$3	THREE-WAY SWITCH	⊙	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
\$4	FOUR-WAY SWITCH	⊙	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
CH	CHIMES	⊙	GAS SUPPLY WITH VALVE
⊕	PUSHBUTTON SWITCH	⊙	HOSE BIBB
⊕SD	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊙	1/4" WATER STUB OUT
⊕CD	CO2 DETECTOR	⊙	WALL SCENCE
⊕T	THERMOSTAT		
⊕PH	TELEPHONE		
⊕TV	TELEVISION		
⊕	ELECTRIC METER		
⊕	ELECTRIC PANEL		
⊕	DISCONNECT SWITCH		



**FINISHED BASEMENT PLAN '1'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**UNFINISHED BASEMENT PLAN '1'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

NORTH CAROLINA OFFICE  
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PROJECT TITLE:

**CAMDEN**

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO:

SHEET TITLE:

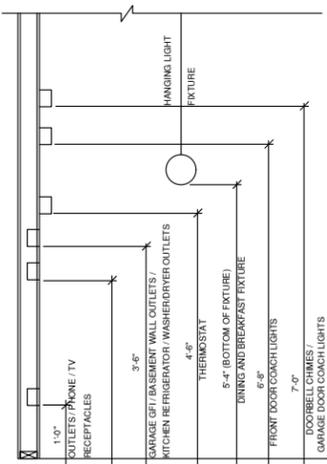
**BASEMENT UTILITY PLAN**

PRINT DATE:

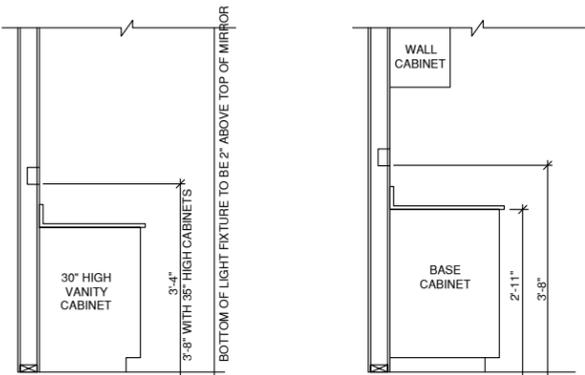
4-13-22

SHEET NO:

**E0.1**



**STANDARD ELECTRICAL BOX HEIGHTS**



**SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS**

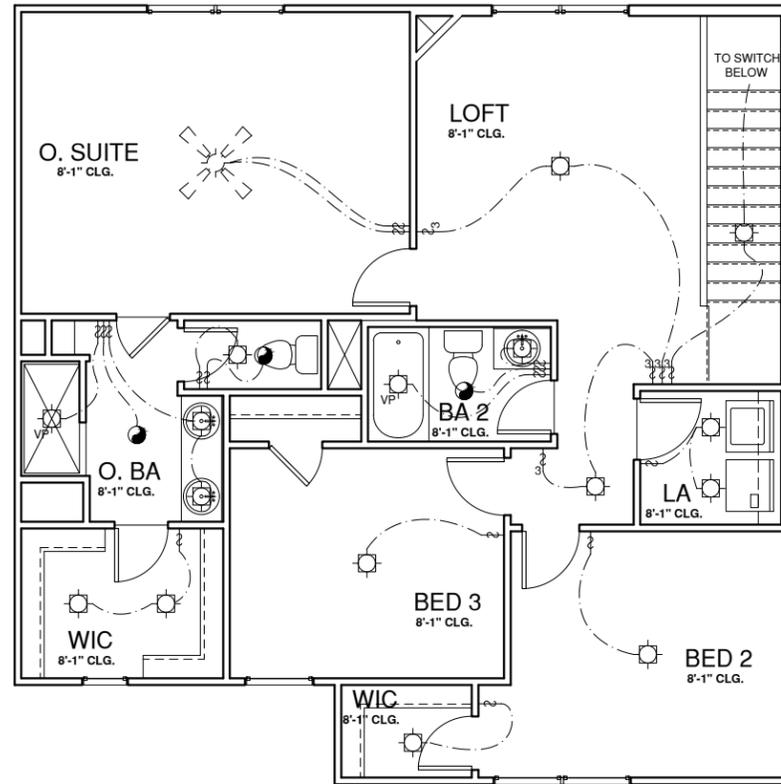
**SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS**

**NOTES:**

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS
- FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAINING TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATON DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

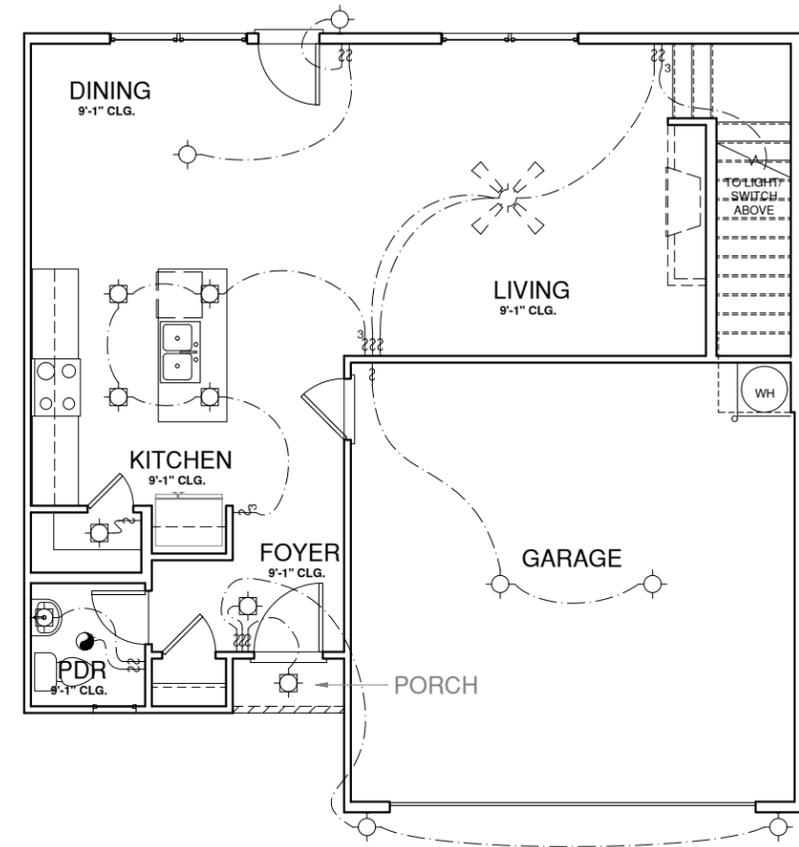
**LEGEND:**

	DUPLEX OUTLET		CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
	WEATHERPROOF GFI DUPLEX OUTLET		WALL MOUNTED INCANDESCENT LIGHT FIXTURE
	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET		STD. PKG. IS LED PUCK LIGHT OPT. PKG. IS RECESSED CAN LIGHT
	HALF-SWITCHED DUPLEX OUTLET		EXHAUST FAN (VENT TO EXTERIOR)
	220 VOLT OUTLET		EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
	REINFORCED JUNCTION BOX		FLUORESCENT LIGHT FIXTURE
	WALL SWITCH		TECH HUB SYSTEM
	THREE-WAY SWITCH		CEILING FAN (PROVIDE ADEQUATE SUPPORT)
	FOUR-WAY SWITCH		CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
	CHIMES		GAS SUPPLY WITH VALVE
	PUSHBUTTON SWITCH		HOSE BIBB
	110V SMOKE DETECTOR W/ BATTERY BACKUP		1/4" WATER STUB OUT
	CO2 DETECTOR		WALL SCONCE
	THERMOSTAT		
	TELEPHONE		
	TELEVISION		
	ELECTRIC METER		
	ELECTRIC PANEL		
	DISCONNECT SWITCH		



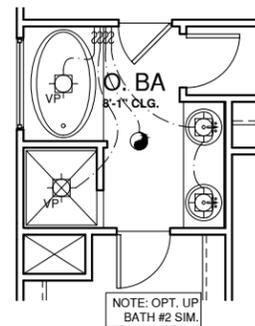
**2 SECOND FLOOR PLAN ELEV '1' - STD PKG**

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



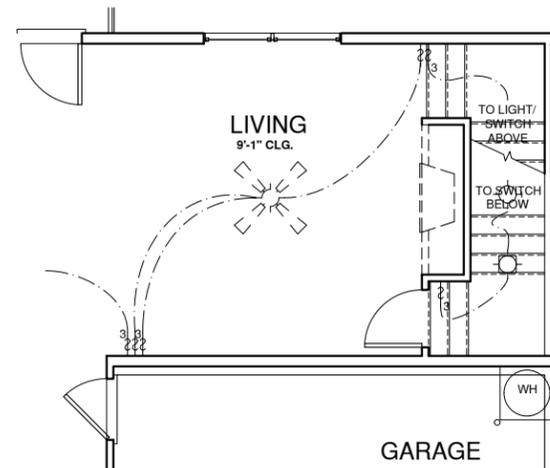
**1 FIRST FLOOR PLAN ELEV '1' - STD PKG**

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



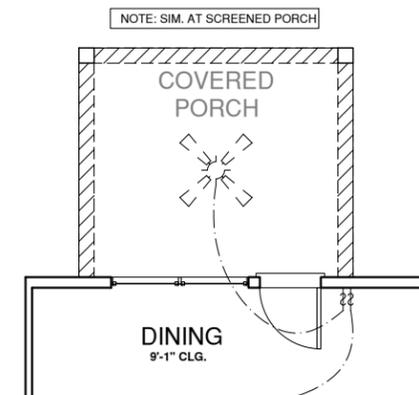
**5 OPT. UP BATH #1 - STD PKG**

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**4 OPT. BASEMENT STAIR - STD PKG**

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**3 UTILITY PLAN OPT. COVERED PORCH - STD PKG**

1/4" = 1'-0" AT 22'X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

**NOTE: SURFACE LIGHTS ARE LED PUCK LIGHTS**

NORTH CAROLINA OFFICE  
102 FOUNTAIN BROOK CIRCLE  
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NO. DATE: REVISION:

PROJECT TITLE:

**CAMDEN**

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO.:

SHEET TITLE:

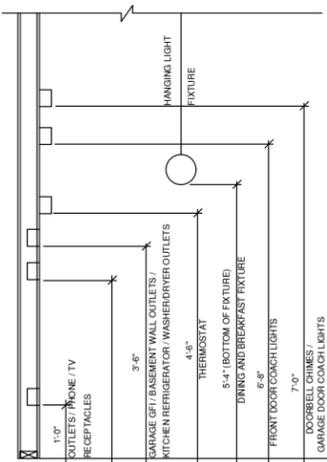
**UTILITY PLANS STD. PKG.**

PRINT DATE:

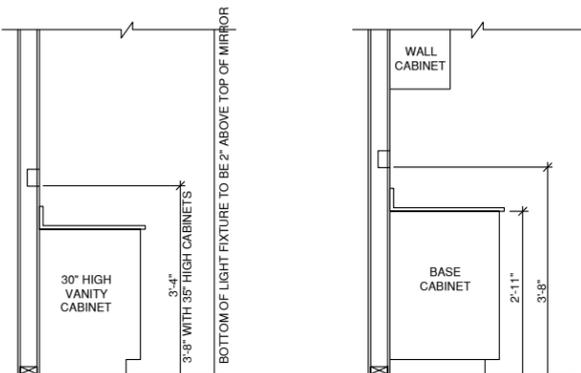
4-13-22

SHEET NO.:

**E1.0**



**STANDARD ELECTRICAL BOX HEIGHTS**



**SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS**

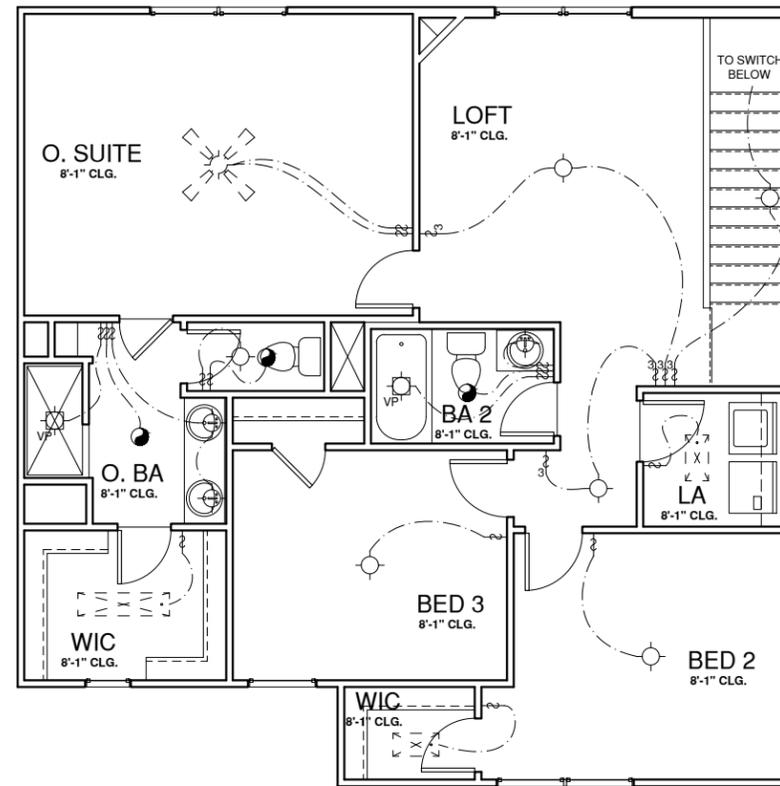
**SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS**

**NOTES:**

- PROVIDE GROUNDING ELECTRICAL ROD PER LOCAL CODES.
- PROVIDE AND INSTALL ARC FAULT CIRCUIT-INTERRUPTERS (AFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS
- FAN/LIGHTS IN WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS."
- ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAINING TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURER'S WRITTEN INSTRUCTIONS.

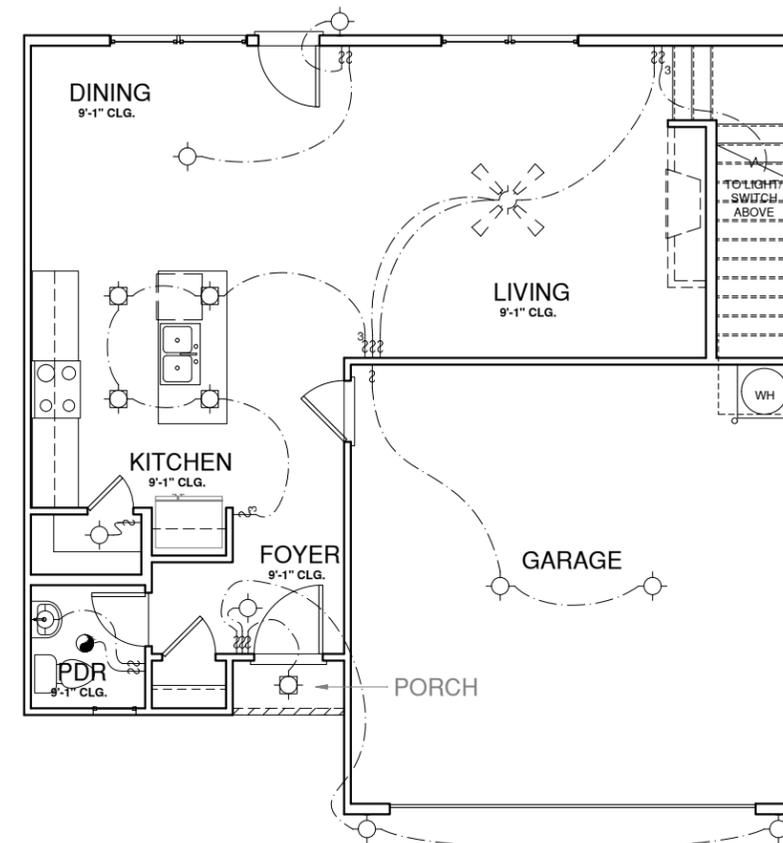
**LEGEND:**

	DUPLEX OUTLET		CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
	WEATHERPROOF GFI DUPLEX OUTLET		WALL MOUNTED INCANDESCENT LIGHT FIXTURE
	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET		STD. PKG. IS LED PUCK LIGHT OPT. PKG. IS RECESSED CAN LIGHT
	HALF-SWITCHED DUPLEX OUTLET		EXHAUST FAN (VENT TO EXTERIOR)
	220 VOLT OUTLET		EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
	REINFORCED JUNCTION BOX		FLUORESCENT LIGHT FIXTURE
	WALL SWITCH		TECH HUB SYSTEM
	THREE-WAY SWITCH		CEILING FAN (PROVIDE ADEQUATE SUPPORT)
	FOUR-WAY SWITCH		CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
	CHIMES		GAS SUPPLY WITH VALVE
	PUSHBUTTON SWITCH		HOSE BIBB
	110V SMOKE DETECTOR W/ BATTERY BACKUP		1/4\"/>
	CO2 DETECTOR		WALL SCONCE
	THERMOSTAT		
	TELEPHONE		
	TELEVISION		
	ELECTRIC METER		
	ELECTRIC PANEL		
	DISCONNECT SWITCH		



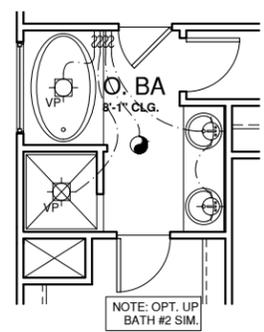
**SECOND FLOOR PLAN ELEV '1'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



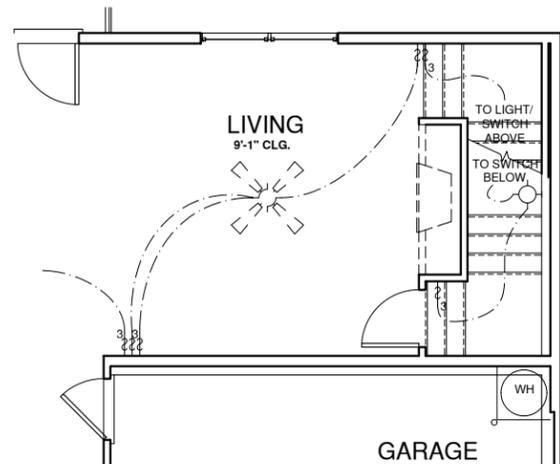
**FIRST FLOOR PLAN ELEV '1'**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



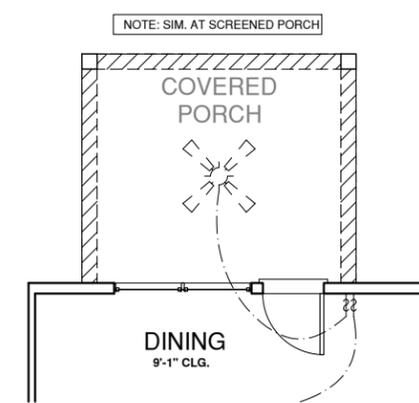
**OPT. UP BATH #1**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**OPT. BASEMENT STAIR**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT



**UTILITY PLAN OPT. COVERED PORCH**

1/4" = 1'-0" AT 22"X34" LAYOUT 1/8" = 1'-0" AT 11" X 17" LAYOUT

**NOTE: SURFACE LIGHTS ARE RECESSED CAN LIGHTS**

NORTH CAROLINA OFFICE  
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NO. DATE: REVISION:

PROJECT TITLE:

**CAMDEN**

**CONSTRUCTION SET**

CLIENTS NAME:

QUACKENBUSH HOMES

PROJECT NO.:

SHEET TITLE:

**UTILITY PLANS OPT. PKG.**

PRINT DATE:

4-13-22

SHEET NO.:

**E1.0**